

BC LAND SURVEYORS SITE PLAN OF:

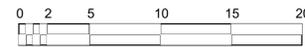
Civic: 2558 Quadra Street

Legal: Lot A, Section 4,

Victoria District, Plan 11029

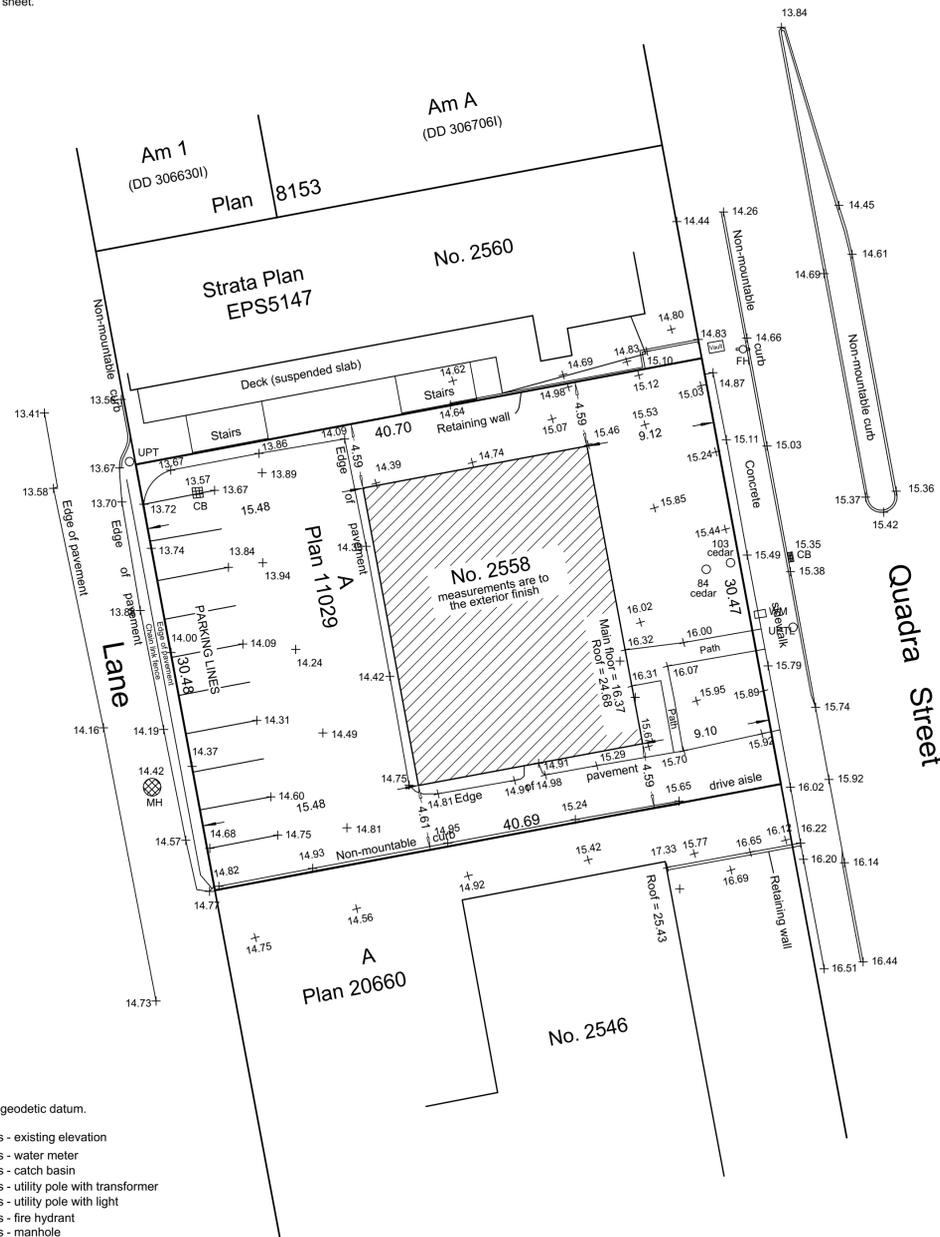
Parcel Identifier: 005-121-299 in the City of Victoria

SCALE 1 : 3 0 0



All distances are shown in metres.

Plot on 11" x 17" sheet.



- LEGEND**
Elevations are to geodetic datum.
- ### - denotes - existing elevation
 - WM □ - denotes - water meter
 - CB □ - denotes - catch basin
 - UPT ○ - denotes - utility pole with transformer
 - UPL ○ - denotes - utility pole with light
 - FH ○ - denotes - fire hydrant
 - MH ⊗ - denotes - manhole
- Tree diameters are in centimetres.
Lot Area = 1240 m²

August 3, 2018

File : 12,827 - 25
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The following non-financial charges are shown on the current title and may affect the property.
M76301 - Undersurface rights

Setbacks are derived from field survey.

Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.



PROJECT INFORMATION

CIVIC ADDRESS
2558 QUADRA STREET

LEGAL DESCRIPTION
LOT A, SECTION 4, VICTORIA DISTRICT PLAN 11029

SITE AREA
1239.7 SM

PROJECT DESCRIPTION
4 STOREYS OF RESIDENTIAL AFFORDABLE HOUSING ABOVE ONE STOREY OF GROUND FLOOR COMMERCIAL WITH ONE BASEMENT LEVEL OF PARKADE.

BUILDING HEIGHT
5 STOREYS, 17.250 M (BCBC)

BUILDING AREA
700 SM (BCBC)

GROSS BUILDING FLOOR AREA	BCBC	ZONING
PARKADE	880 SM	-
GROUND FLOOR LEVEL 1	525 SM	486 SM
LEVELS 2 - 5	2400 SM	2340 SM
TOTAL (EXCLUDING PARKADE)	2945 SM	2826 SM

RESIDENTIAL UNITS	BC HOUSING	ZONING
16 STUDIO @	36 SM	33 SM
4 ACCESSIBLE STUDIO @	48 SM	44 SM
16 ONE BED @	56 SM	53 SM
4 TWO BED @	79 SM	75 SM
40 TOTAL		

COMMERCIAL UNITS	ZONING
1 COMMERCIAL/RETAIL UNIT @	330 SM 319 SM

VEHICLE PARKING
PARKADE 22
SURFACE 8
TOTAL 30

BICYCLE PARKING
LONG TERM 48
SHORT TERM 10
TOTAL 58

VICTORIA ZONING BYLAW SUMMARY

ZONING (CURRENT)
C1-QV, QUADRA VILLAGE DISTRICT

USE
COMMERCIAL
RESIDENTIAL

FLOOR SPACE RATIO
GROSS BUILDING FLOOR AREA (ZONING) / SITE AREA
2826/1239.7 = 2.3

SITE COVERAGE
AREA OF LOT OCCUPIED BY ANY STRUCTURE/ SITE AREA
1014/1239.7 = 82%

OPEN SITE SPACE
SITE AREA - (BUILDING AREA + SURFACE PARKING AREA)
1239.7 - 720 = 519.7
OPEN SITE SPACE/ SITE AREA
519.7/ 1239.7 = 42%

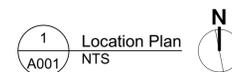
AVERAGE GRADE: 15.03 M (GEODETIC)
SEE SITE PLAN FOR GRADE CALCULATION

HEIGHT OF BUILDING: 18.120 M AS MEASURED FROM AVERAGE GRADE.

VEHICLE PARKING	
AFFORDABLE RENTAL UNITS	
< 45 SM	.2 X 20 = 4
45 - 70 SM	.5 X 16 = 8
> 70 SM	.75 X 4 = 3
SUB-TOTAL	15
VISITOR	.1 X 40 = 4
COMMERCIAL	319/20 = 16
TOTAL REQUIRED	35
PROVIDED	30

BICYCLE PARKING	
LONG TERM	
< 45 SM	1 X 20 = 20
> 45 SM	1.25 X 20 = 25
COMMERCIAL	319/150 = 3
TOTAL LONG TERM REQUIRED	48
TOTAL PROVIDED	48

SHORT TERM	
RESIDENTIAL (THE GREATER OF)	.1 X 40 OR 6
COMMERCIAL	319/100 = 4
TOTAL SHORT TERM REQUIRED	10
TOTAL PROVIDED	10



CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018, DIVISION B - PART 3

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
BELOW GRADE PARKADE -
GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL
GROUND FLOOR COMMERCIAL RETAIL UNIT (CRU) - ANY OF THE FOLLOWING -
GROUP A2 - ASSEMBLY
GROUP D - BUSINESS AND PERSONAL SERVICES
LEVELS 2 - 5 -
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)
BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.
A2/C - 1 HOUR
C/D - 1 HOUR
C/E - 2 HOUR

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
3.2.2.24 - GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS
ALLOWABLE AREA - ANY
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS & 18 M
ALLOWABLE AREA - 1440 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.56 - GROUP D, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS
ALLOWABLE AREA - 8640 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED
FIRE SUPPRESSION - FULL SPRINKLERED
ALLOWABLE HEIGHT - ANY HEIGHT
ALLOWABLE AREA - ANY AREA
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION

PARKADE -
FIRE SUPPRESSION - FULL SPRINKLERED
HEIGHT - 1 STOREY
AREA - 880 SM
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLY - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

BUILDING -
FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 5 STOREYS, 17.250 M
AREA - 700 SM
CONSTRUCTION
LEVEL 1 - NON COMBUSTIBLE (INCLUDING FLOOR ABOVE)
LEVELS 2 - 5 - COMBUSTIBLE (EXCEPT LEVEL 2 FLOOR)
FLOOR ASSEMBLY
LEVEL 2 - 2 HOUR (NON COMBUSTIBLE)
LEVELS 3 - 5 - 1 HOUR
SUPPORTING WALLS AND STRUCTURE
LEVEL 1 - 2 HOUR
LEVELS 2 - 5 - 1 HOUR
ROOF ASSEMBLY - NONE

DRAWING INDEX

- ARCHITECTURAL**
A001 PROJECT INFORMATION
A101 ARCHITECTURAL SITE PLAN
A102 PARKADE PLAN
A201 LEVEL 1 PLAN
A202 LEVELS 2 - 5 PLANS
A203 ROOF PLAN
A301 EXTERIOR ELEVATIONS
A302 STREETScape
A303 PERSPECTIVES
A401 BUILDING SECTIONS
A402 BUILDING SECTIONS

CIVIL
18-136-REZONING CONCEPTUAL SERVICING

LANDSCAPE
L1.01 LANDSCAPE MATERIALS
L3.01 PLANTING PLAN

REV	DATE	DESCRIPTION

DATE: AUGUST 2020 DRAWING NO: 1628 A100
SCALE: FWP
TYPE: SEE DRAWING
NOTE: All dimensions are shown in millimetres.

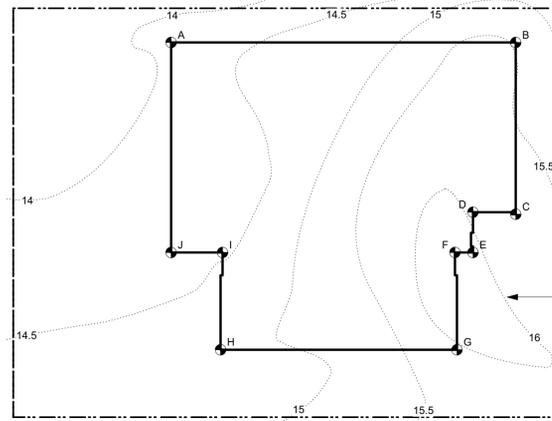
REGISTERED ARCHITECT
DEVELOPER
PE
2021-01-06

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BRITISH COLUMBIA
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Project Name: 2558 Quadra Street
2558 Quadra Street
Victoria, BC

Project Information
Drawing No: A001

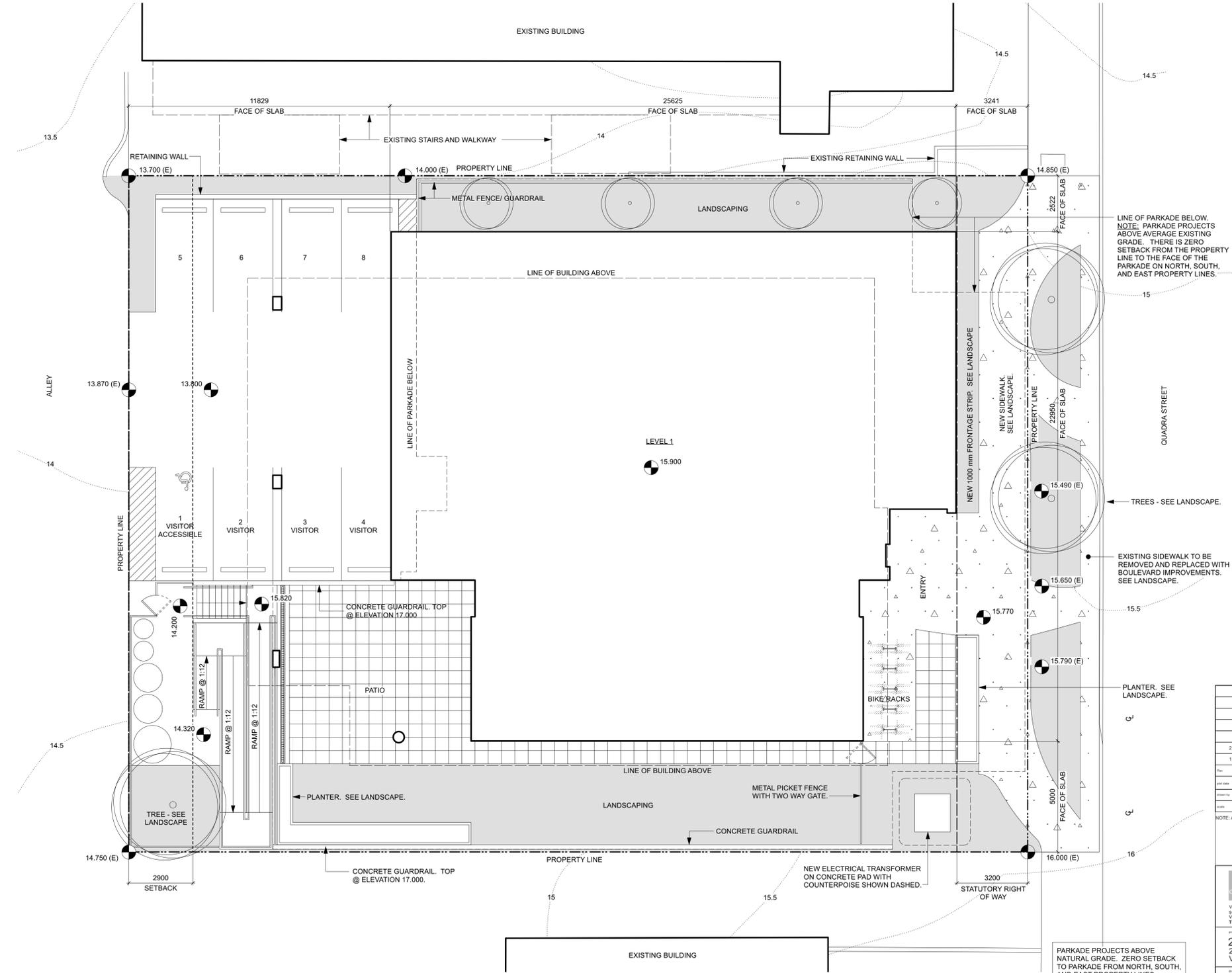


POINTS	AVERAGE	DISTANCE	TOTAL
A&B	$((14 + 15.5)/2)$	X	25.8 = 380.55
B&C	$((15.5 + 16)/2)$	X	12.8 = 201.6
C&D	$((16 + 16)/2)$	X	3.2 = 51.2
D&E	$((16 + 16)/2)$	X	3.0 = 48
E&F	$((16 + 16)/2)$	X	1.2 = 19.2
F&G	$((16 + 15.7)/2)$	X	7.25 = 114.91
G&H	$((15.7 + 14.75)/2)$	X	17.7 = 269.48
H&I	$((14.75 + 14.5)/2)$	X	7.25 = 106.03
I&J	$((14.5 + 14.4)/2)$	X	3.85 = 55.83
J&A	$((14.4 + 14)/2)$	X	15.65 = 222.23
TOTAL		97.7	1468.83

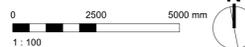
AVERAGE GRADE $1468.83 / 97.7 = 15.03$

1 Average Grade Calculation
Scale: 1:100

PROJECT INFORMATION TABLE		
ZONE (EXISTING)	C1-QV	BUILDING SETBACKS (M)
PROPOSED ZONE	NEW ZONE	FRONT YARD 0
SITE AREA (SM)	1239.7	REAR YARD 2.9
TOTAL FLOOR AREA (SM)	2826	SIDE YARD (NORTH) 0
COMMERCIAL FLOOR AREA (SM)	319	SIDE YARD (SOUTH) 0
FLOOR SPACE RATIO	2.3	COMBINED SIDE YARDS 0
SITE COVERAGE (%)	82	RESIDENTIAL USE DETAILS
OPEN SITE SPACE (%)	42	TOTAL NUMBER OF UNITS 40
HEIGHT OF BUILDING (M)	17.250 (18.120 AS MEASURED FROM AVERAGE GRADE)	UNIT TYPE STUDIO, ONE BEDROOM, TWO BEDROOM
NUMBER OF STOREYS	5	GROUND ORIENTED UNITS 0
PARKING STALLS (NUMBER) ON SITE	30	MINIMUM UNIT FLOOR AREA (SM) 33
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	56	TOTAL RESIDENTIAL FLOOR AREA (SM) 1872



2 Site Plan
Scale: 1:100



2	2010/20	Boulevard Tree Removal
1	2008/10	Response to Engineering

DATE: AUGUST 2020 DRAWING NO: 1828 A100

DESIGNED BY: FWP
DRAWN BY: SEE DRAWING

NOTE: All dimensions are shown in mill.

REGISTERED ARCHITECT
DEVELOPMENT PERMIT
2021-01-06

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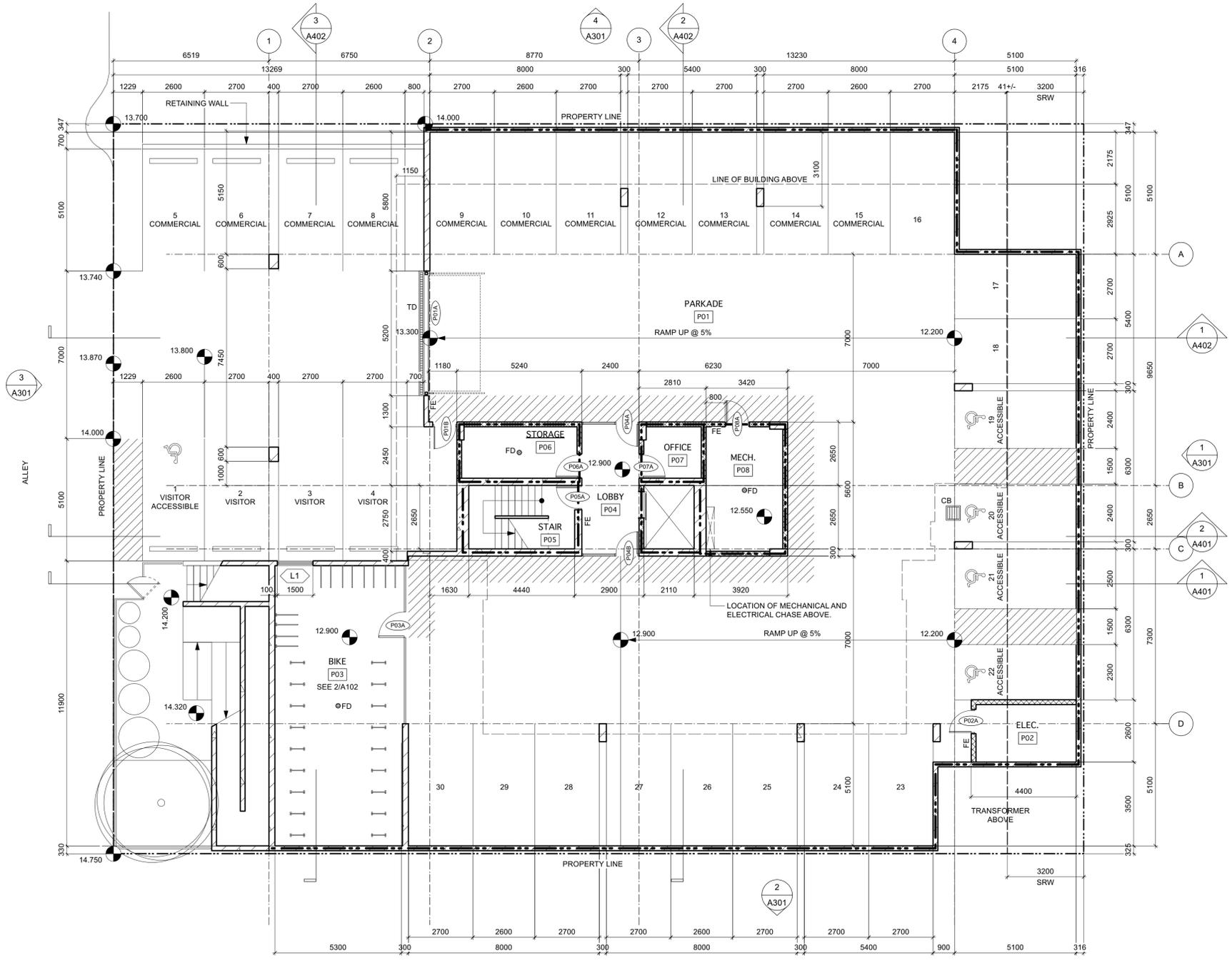
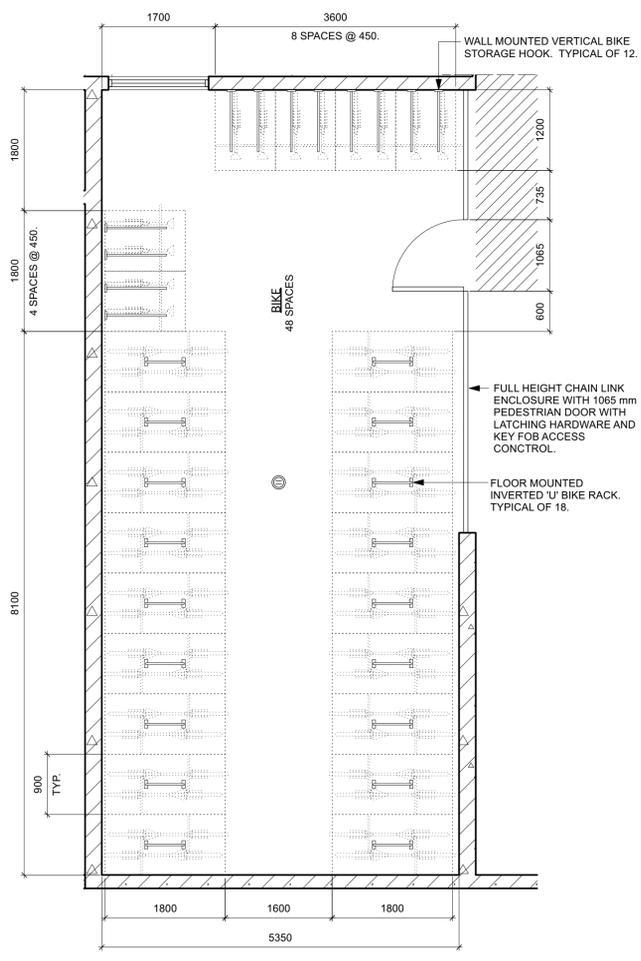
2558 Quadra Street
2558 Quadra Street
Victoria, BC

Architectural Site Plan

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- GRAPHIC LEGEND:**
- REINFORCED CONCRETE.
 - CONCRETE BLOCK.
 - FRAMED WALL.
 - BRICK VENEER.
 - SIDING AND EXTERIOR INSULATION.
 - FIRE RATED SEPARATION.

- SHEET NOTES:**
1. EXTERIOR WALLS ARE TYPE W1 UNLESS NOTED OTHERWISE.
 2. INTERIOR PARTITIONS ARE TYPE P1 UNLESS NOTED OTHERWISE.
 3. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE OR CONCRETE BLOCK, AND FACE OF SHEATHING OR FRAMING UNLESS NOTED OTHERWISE.
 4. PROVIDE (4) 3A40BC 5 LB BRACKET MOUNTED FIRE EXTINGUISHERS (FE) IN LOCATIONS SHOWN.



VEHICLE PARKING CALCULATION

AFFORDABLE RENTAL UNITS	
UNITS < 45 SM	20 X 2 = 4
UNITS 45-70 SM	16 X 5 = 8
UNITS > 70 SM	4 X 75 = 3
SUB-TOTAL	40 X 15 = 15
VISITOR	40 X 1 = 4
COMMERCIAL/RETAIL	319/20 = 16
TOTAL REQUIRED	35
PROVIDED	30

LONG TERM BIKE PARKING CALCULATION

UNITS < 45 SM	20 X 1 = 20
UNITS > 45 SM	20 X 1.25 = 25
COMMERCIAL/RETAIL	319/150 = 3
TOTAL REQUIRED	48
PROVIDED	48

Rev	Date	Description
2	20/10/20	Scalped Tree Removal
1	20/08/10	Response to Engineering

DATE: AUGUST 2020 DRAWING NO: 1828 A100
 DRAWN BY: FWP
 CHECKED BY: SEE DRAWING
 NOTE: All dimensions are shown in mill.

DEVELOPER
PE

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BRITISH COLUMBIA

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2558 Quadra Street
Victoria, BC

Parkade Plan

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A102 2

1 Bike Room Furnishings Plan
Scale: 1:100

3 Parkade Plan
Scale: 1:100

UNPROTECTED OPENING LIMITS PER TABLE 3.2.3.1 D

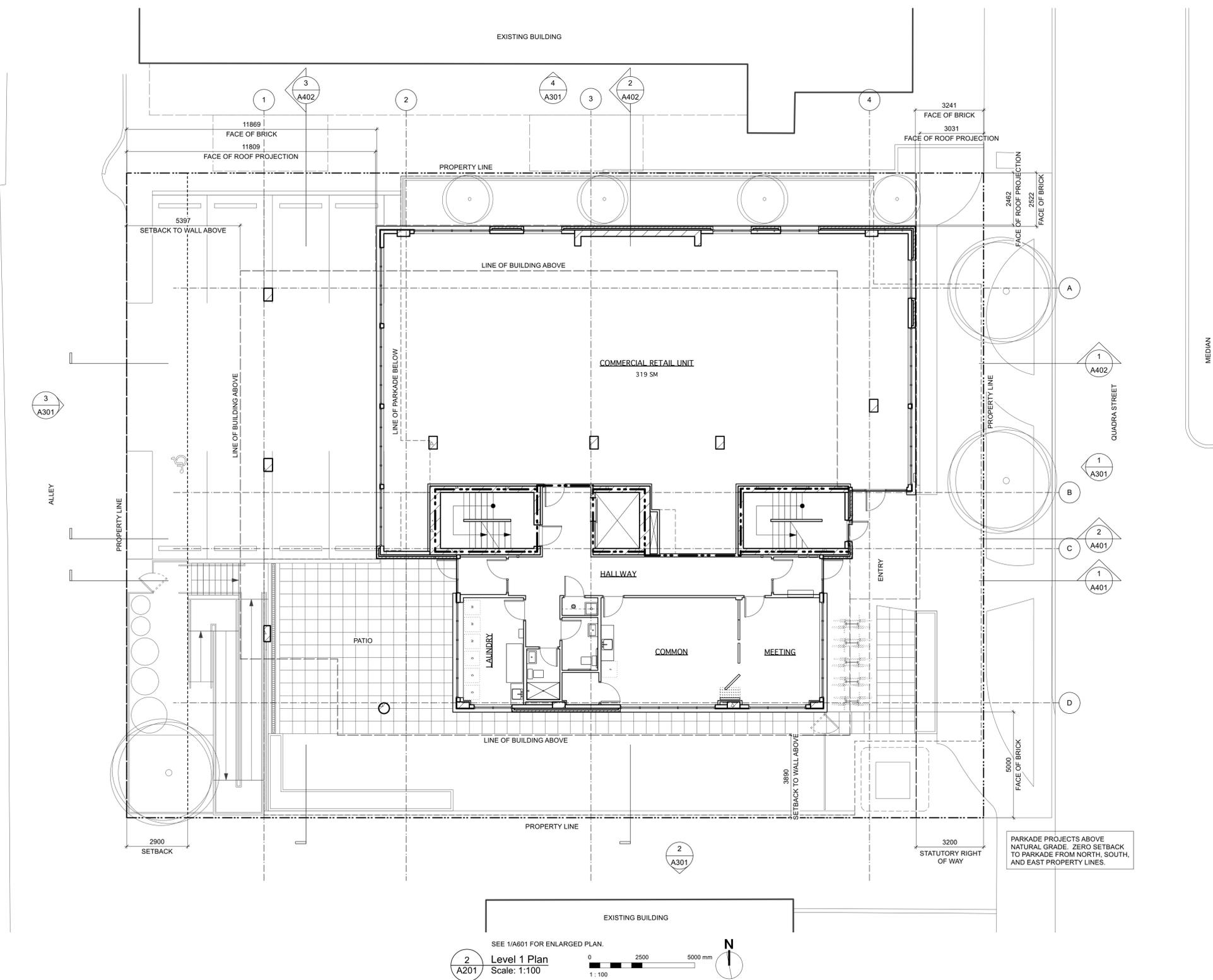
SUITE #	AREA OF EXPOSING BUILDING FACE (SM)	AREA OF UNPROTECTED OPENINGS (SM)	LIMITING DISTANCE (M)	AREA OF UNPROTECTED OPENINGS (%)	
				ALLOWABLE	ACTUAL
NORTH	NORTH	85.8	18	2.5	22
	EAST	41.9	18	> 6	100
	WEST	52.2	27	> 7	100
SOUTH	EAST	24.7	13.6	> 5	100
	SOUTH	59.2	17.3	5	72
	WEST	24.7	11.8	> 5	100

GRAPHIC LEGEND:

- REINFORCED CONCRETE.
- CONCRETE BLOCK.
- FRAMED WALL.
- BRICK VENEER.
- SIDING AND EXTERIOR INSULATION.
- FIRE RATED SEPARATION.

SHEET NOTES:

1.



Rev	Date	Description
2	2010/20	Scale and Tree Removal
1	2008/10	Response to Engineering

Date: AUGUST 2020
 Drawing No: 1828 A100
 Author: FWP
 Level: SEE DRAWING
 NOTE: All dimensions are shown in mill.

DEVELOPER
PE

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BRITISH COLUMBIA
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Project Name: 2558 Quadra Street
 2558 Quadra Street
 Victoria, BC

Drawing Title: Level 1 Plan
 Drawing No: A201
 Sheet No: 2

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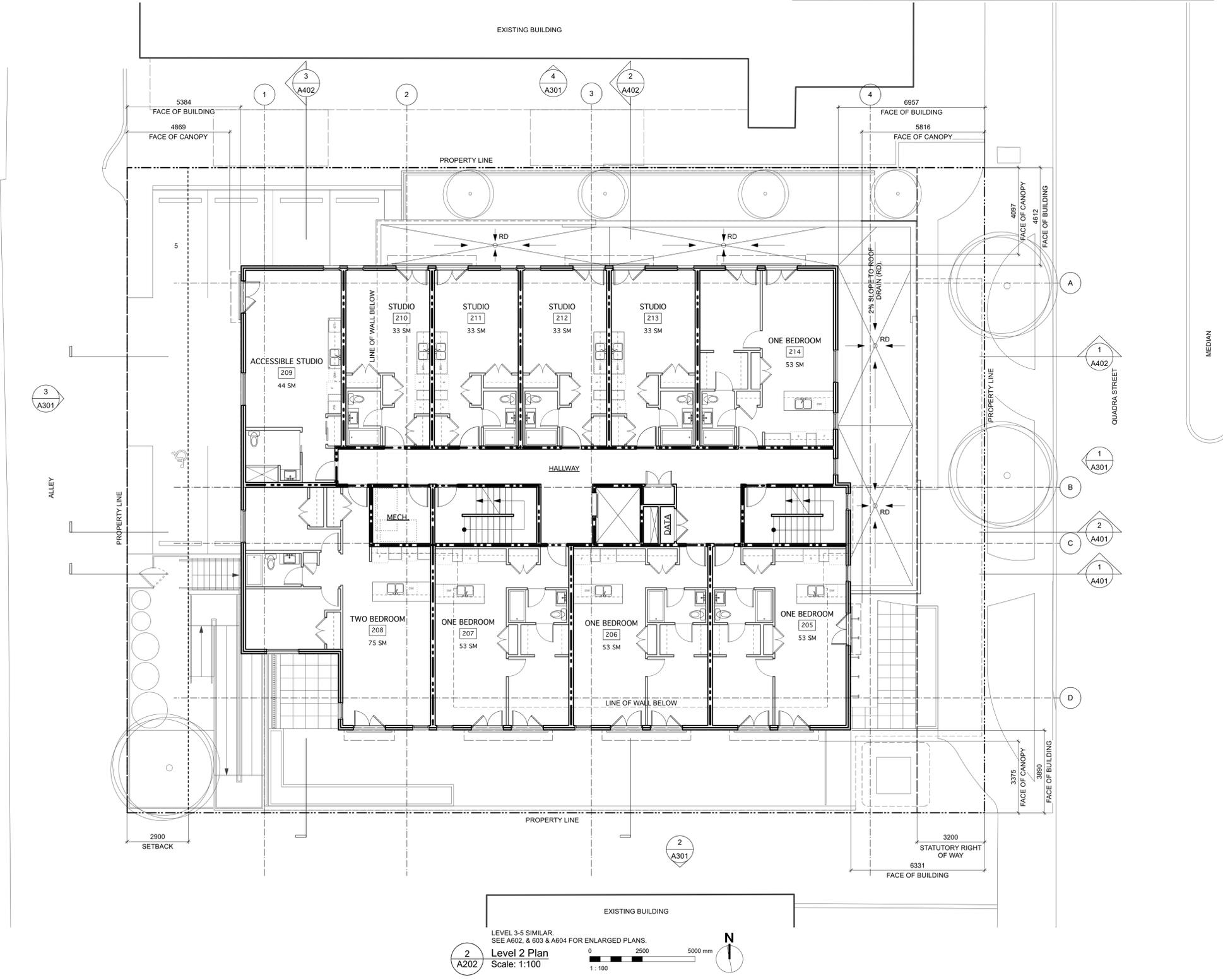
UNPROTECTED OPENING LIMITS PER TABLE 3.2.3.1.D

SUITE #	AREA OF EXPOSING BUILDING FACE (SM)	AREA OF UNPROTECTED OPENINGS (SM)	LIMITING DISTANCE (M)	AREA OF UNPROTECTED OPENINGS (%)		
				ALLOWABLE	ACTUAL	
205	EAST	24.6	5.05	> 5	100	20.5
	SOUTH	18.9	7.2	5	100	38
206, 207	SOUTH	18.9	8.65	5	100	46
208	SOUTH	25.8	7.25	5	100	28
	WEST	32.9	3.65	> 6	100	11
209	WEST	29.2	5.8	> 5	100	20
	NORTH	13.6	1.45	2.5	50	11
210 - 213	NORTH	12	5.05	2.5	50	42
214	NORTH	18.8	7.2	2.5	42	38
	EAST	24.3	4.35	> 5	100	18

GRAPHIC LEGEND:

- REINFORCED CONCRETE.
- CONCRETE BLOCK.
- FRAMED WALL.
- BRICK VENEER.
- SIDING AND EXTERIOR INSULATION.
- FIRE RATED SEPARATION.

SHEET NOTES:
1.



LEVEL 3-5 SIMILAR.
SEE A602, & 603 & A604 FOR ENLARGED PLANS.
Level 2 Plan
Scale: 1:100

Rev	Date	Description	By	Checked By
2	2010/20	Scalped Tree Removal		
1	2009/10	Response to Engineering		

DATE: AUGUST 2020
DRAWN BY: FWP
CHECKED BY: SEE DRAWING
SCALE: SEE DRAWING
NOTE: All dimensions are shown in mill.

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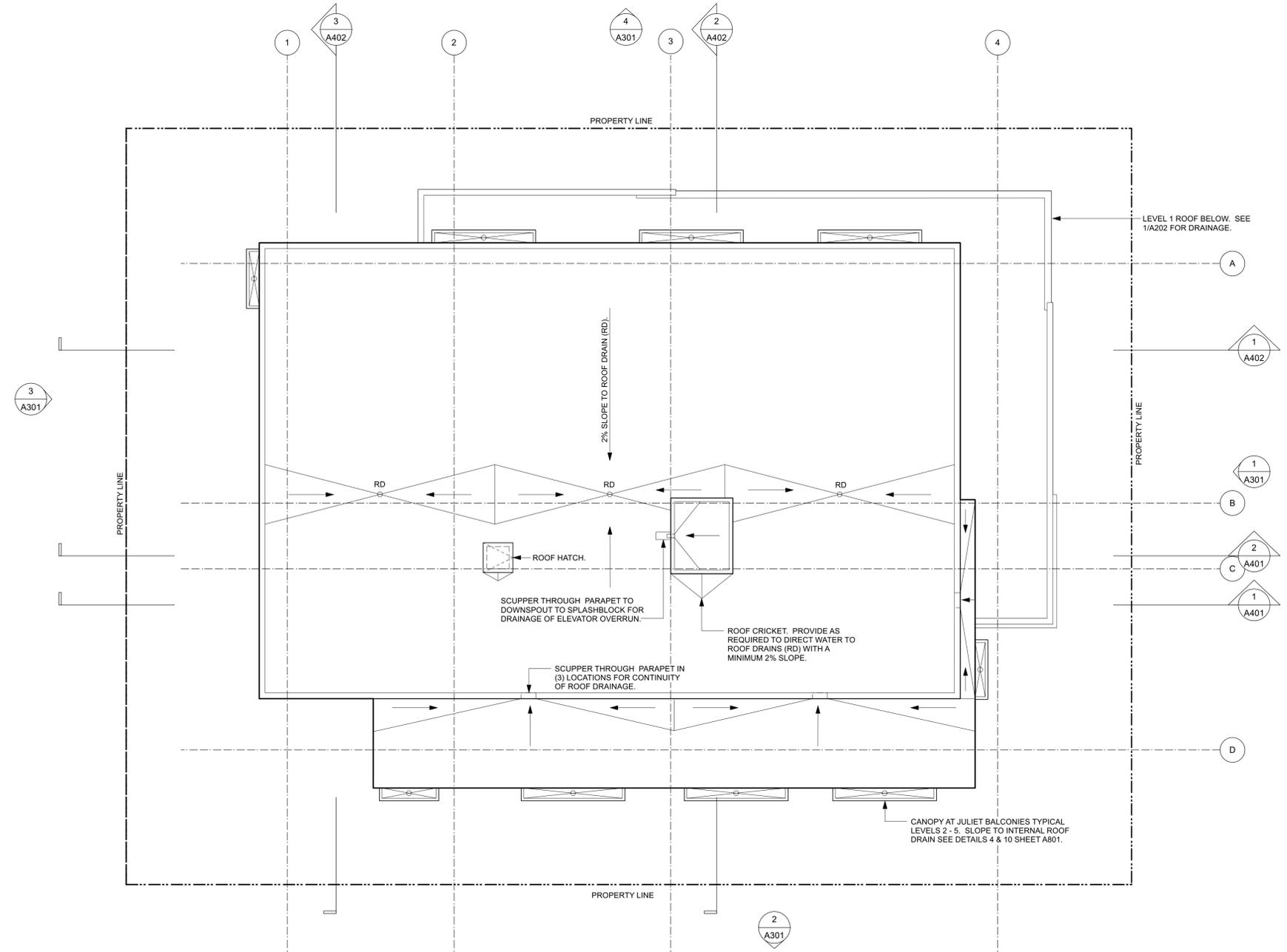
2558 Quadra Street
2558 Quadra Street
Victoria, BC

Levels 2-5 Plans

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A202 2

SHEET NOTES:
 1. PROVIDE PERMANENT ANCHORS FOR FALL PROTECTION AND WINDOW WASHING AT A MINIMUM DISTANCE OF 2 M BACK FROM THE INSIDE FACE OF THE PARAPET AROUND THE ENTIRE PERIMETER OF ROOF.



2 Roof Plan
 A203 Scale: 1:100



Rev	Date	Description

DATE: AUGUST 2020 DRAWING NO: 1828 A100
 DRAWN BY: FWP
 CHECKED BY: SEE DRAWING
 NOTE: All dimensions are shown in mill.

DEVELOPER
PE



gKa

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2558 Quadra Street
 2558 Quadra Street
 Victoria, BC

Roof Plan

PROJECT NO: A203

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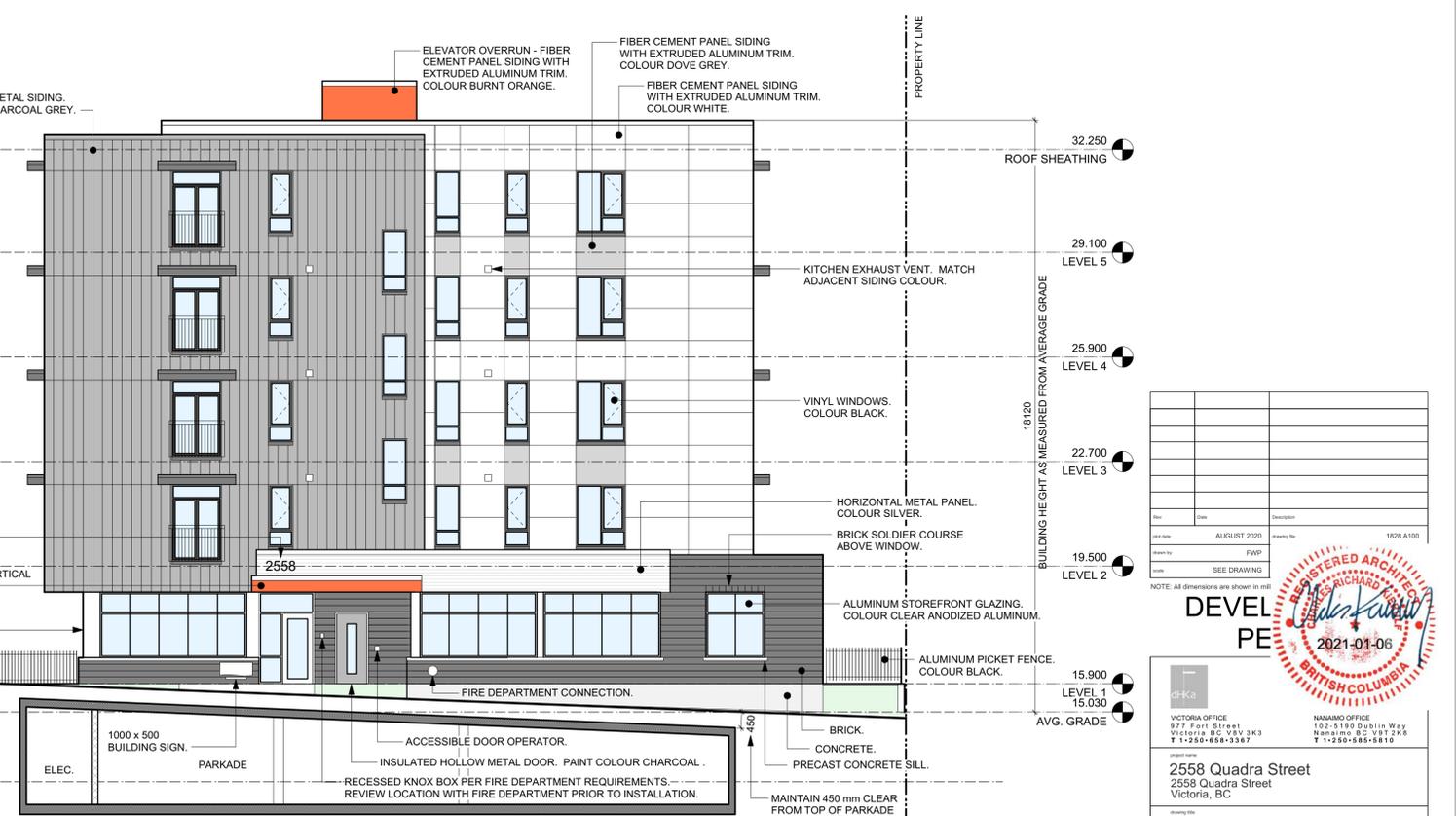
4 North Elevation
Scale: 1:100
0 2500 5000 mm
1:100



2 South Elevation
Scale: 1:100
0 2500 5000 mm
1:100



3 West Elevation
Scale: 1:100
0 2500 5000 mm
1:100



1 East Elevation
Scale: 1:100
0 2500 5000 mm
1:100

32.250
ROOF SHEATHING
29.100
LEVEL 5
25.900
LEVEL 4
22.700
LEVEL 3
19.500
LEVEL 2
15.900
LEVEL 1
15.030
AVG. GRADE

18120
BUILDING HEIGHT AS MEASURED FROM AVERAGE GRADE

Date	Issue	Description	1628 A100
AUGUST 2020	FWP	SEE DRAWING	

NOTE: All dimensions are shown in mill.

REGISTERED ARCHITECT
BRITISH COLUMBIA
2021-01-06

DEVEL PE

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2558 Quadra Street
2558 Quadra Street
Victoria, BC

Exterior Elevations

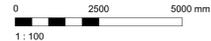
A301



2 Existing Quadra Street Elevation
NTS



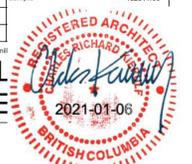
1 Quadra Street Elevation
Scale: 1:100



Rev	Date	Description

DATE: AUGUST 2020 DRAWING NO: 1628 A100
 DRAWN BY: FWP
 CHECKED BY: SEE DRAWING
 NOTE: All dimensions are shown in mill

DEVELOPER
PROJECT



d-Ka VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name: 2558 Quadra Street 2558 Quadra Street Victoria, BC	
Streetscape	
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drawing no: A302	sheet no: 1 of 1



9 Aerial View from South East
A303



8 Aerial View from North East
A303



7 North West Corner
A303



6 South West Corner
A303



5 South East Corner
A303



4 North East Corner
A303



3 Alley Entry
A303



2 Quadra Street Entry
A303



1 Quadra Street Entry
A303

Rev	Date	Description

DATE: AUGUST 2020 DRAWING NO: 1628 A100
 SCALE: FWP
 SEE DRAWING

NOTE: All dimensions are shown in millimeters.

DEVELOPER
PROJECT

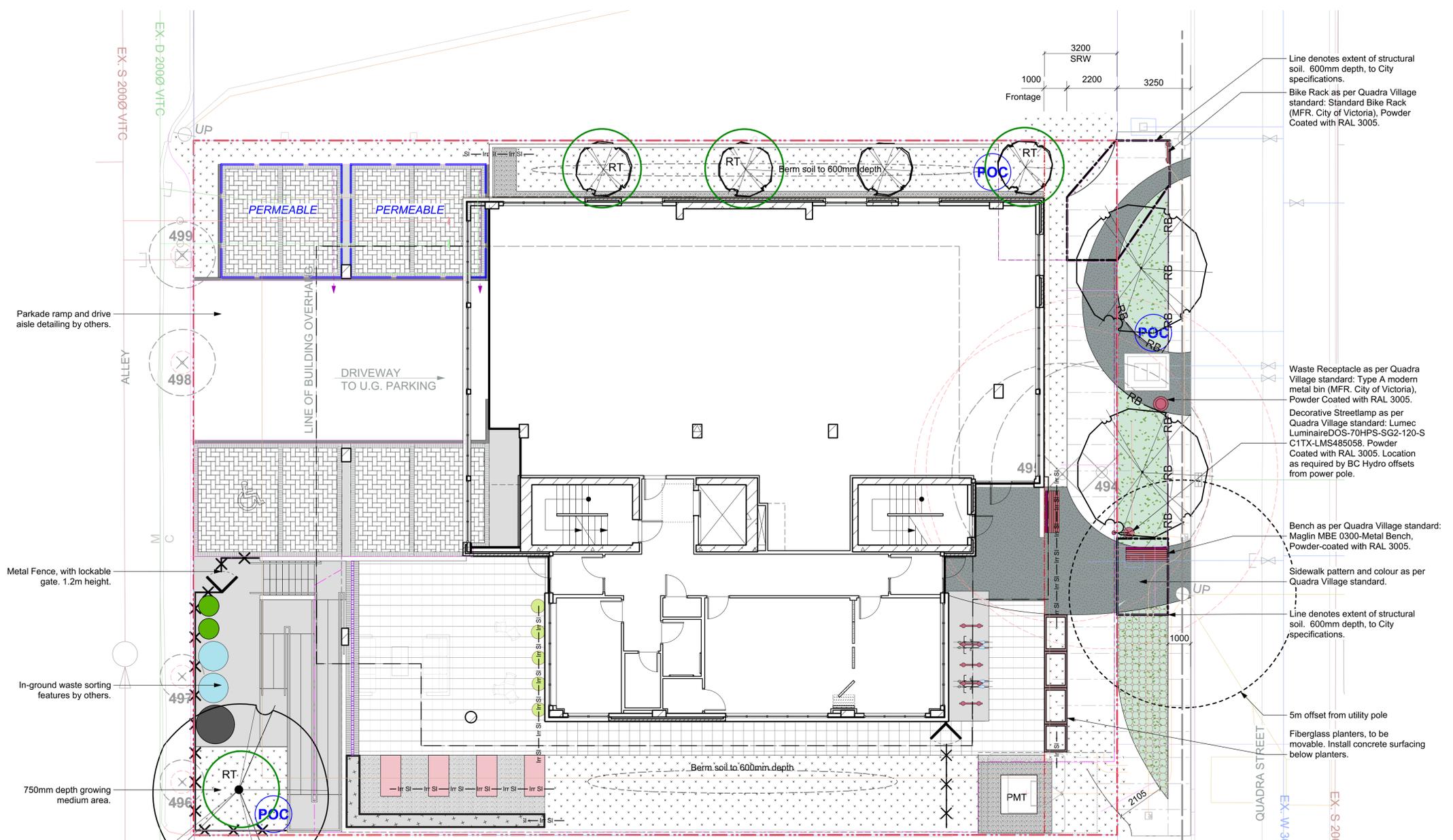
2558 Quadra Street
 2558 Quadra Street
 Victoria, BC

Perspectives
 A303

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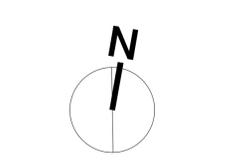
- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

LANDSCAPE TYPOLOGIES

- Common Patio:** Concrete unit pavers with outdoor couches and bistro tables. Wood screen and community bulletin board at parking.
- Allotment Gardens and Herb Box:** Located in sunniest portion of patio.
- Tall Screening Plantings:** Planters with deeper soil to grow evergreen shrubs and tall grasses as screening between properties.
- Meadow:** Shallow growing medium planted with low-maintenance perennial flowers and grasses.
- Welcoming Entry:** Quadra Village materials and patterns, bike racks, and ornamental plantings.
- In-Ground Waste Sorting:** Molok Waste Systems. 1 X M-5000 Garbage, 2 X M-3000 paper/plastic, 2 X M-1300 compost/glass.

LEGEND

	Property line	
	Extent of Parkade, below	
UNDERGROUND UTILITIES		
EXISTING		
	Storm drain	
	Sewer	
	Water	
	Electrical	
	Gas	
PROPOSED		
	Storm drain	
	Sewer	
	Water	
	Electrical	
	Gas	
LANDSCAPE MATERIALS		
	Root Barrier: 450mm depth root barrier, top of root barrier to be 50mm below sidewalk.	NA
	Irrigation Sleeve: 100mm/4" dia. Schd 40 PVC. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	NA
	Metal Picket Fence 1.2m height, c/w lockable gate. Refer to Arch dwgs.	See Arch Dwgs
	Cast in Place Concrete Wall, height varies. By others.	See Structural Dwgs
	Cast in Place Concrete Flush Edge Restraint	
	UNIT PAVING TYPE 1: 457x457x40mm HydraPressed Slab, Texada, Charcoal, Abbotsford Concrete Products or approved equivalent.	1 (L4.01)
	UNIT PAVING TYPE 2: Standard Series, 225x112.5x80mm, 90° herringbone c/w solidier course border, colour: shadow c/w charcoal border, Abbotsford Concrete Products or approved equivalent. AquaPave Standard, 221.5x110x80mm where noted permeable.	See Civil Dwgs
	UNIT PAVING TYPE 3: Standard Series, 225x112.5x80mm, soldier course, charcoal, Abbotsford Concrete Products or approved equivalent.	1 (L4.01)
	Granular Surfacing / Building Maintenance Strip	6 (L4.01)
	ON-SITE: Cast in place concrete paving c/w broom finish, tooled joints.	5 (L4.01)
	SIDEWALK: Cast in place concrete paving c/w broom finish, tooled joints as shown on plan.	See Civil Dwgs
	SIDEWALK: Cast in place concrete paving, charcoal colour to match Quadra standard, c/w broom finish. Provide mock-up for LA Review. See plan for Structural Soil locations. Refer to Civil dwgs.	See Civil Dwgs
	PLANTING AREA: 450 mm depth (average) growing medium, unless noted otherwise on plan, Type 2P C.L.S. On-slab depth varies, refer to grading plan and Arch concrete (slab) dwgs.	5 (L4.02)
	BOULEVARD LAWN: 600 mm growing medium, Type 2L C.L.S c/w seed to City specifications.	4 (L4.02)
	STABILIZED BOULEVARD LAWN (HYDRO ACCESS): Install CORE Grass turf stabilizing system to mfr. specifications, over 600 mm growing medium, Type 2L C.L.S c/w seed to City specifications.	NA
	Structural Soil Below Sidewalk, 600 mm depth to City specifications.	NA
LANDSCAPE FURNISHINGS		
	Bike Rack, 2 Stalls Per Rack	
	Prefabricated Aluminum Planter (edger style) set on granular sub base over parkade slab. Allow drainage and irrigation sleeving.	
	Prefabricated, standalone Fiberglass Planter, 450mm height, set over concrete sidewalk surfacing. Shim to level. Allow drainage and irrigation sleeving.	
	Allotment Garden Bed: Cedar construction.	
	In-Ground Waste Sorting by others.	
	Existing Tree to be Removed See Planting Plan for More Information	
	Critical Root Zone (CRZ)	
	Tree Tag #	
	Replacement Tree	



NOT FOR CONSTRUCTION

rev no	description	date
5	Revised Rezoning/DP	20.12.16
4	Revised Rezoning/DP	20.08.31
3	Revised Rezoning/DP	20.02.11
2	Revised Rezoning/DP	19.10.21
1	Rezoning/DP	19.07.03

Murdoch de Greeff INC
Landscape Planning & Design
200 - 554 Columbia Road
Victoria, BC V8Z 1G1
Phone: 250.412.2891
Fax: 250.412.2892

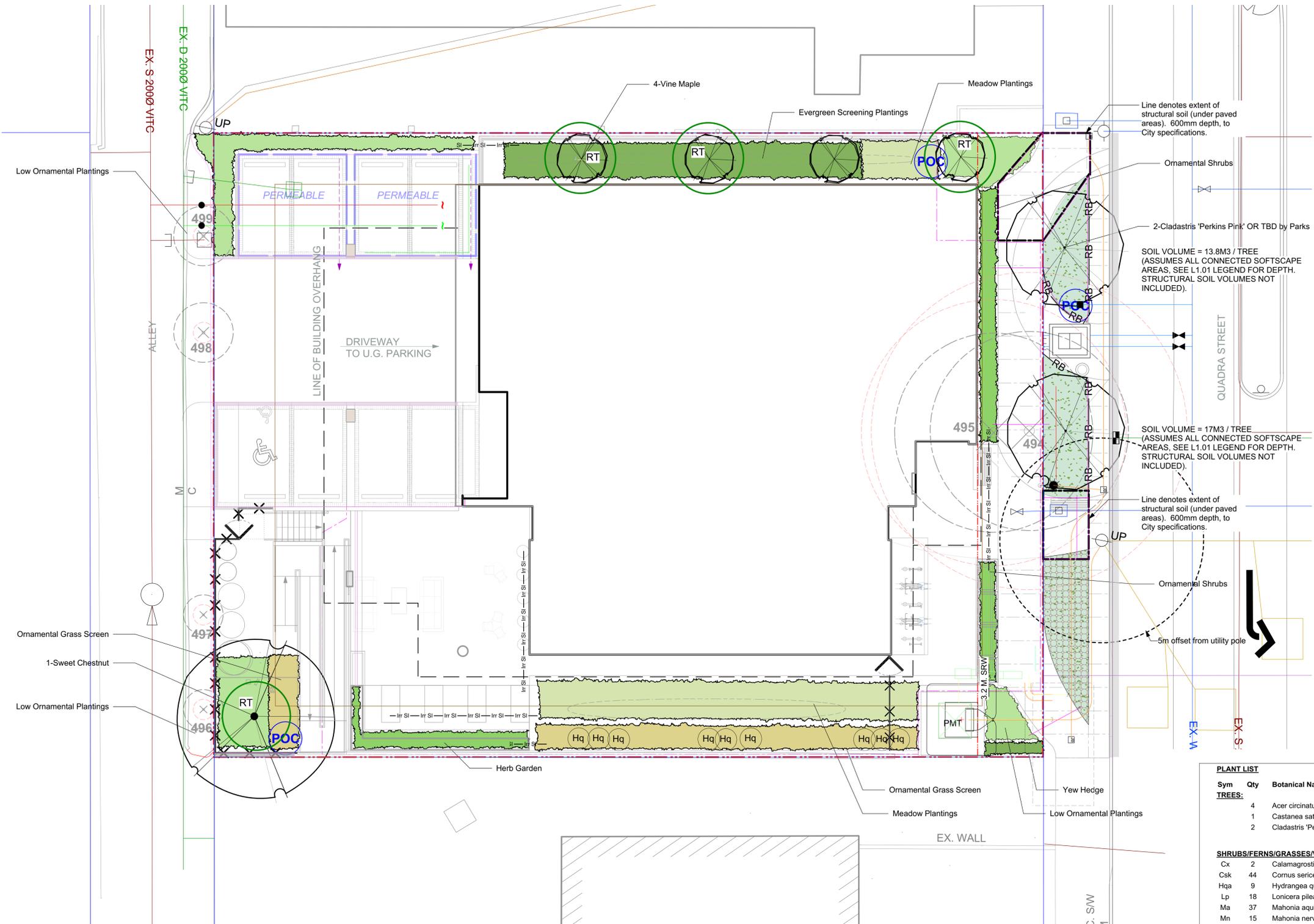
client
GVHS
2326 Government St.
Victoria, BC

project
GVHS @ 2558 Quadra
2558 Quadra St,
Victoria, BC

sheet title
Landscape Materials

project no.	118.26
scale	1: 100 @ 24"x36"
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

L1.01



EXISTING TREE INVENTORY*

TOTAL TREES TO BE RETAINED: 0
REMOVED TREES

TREE TAG #	DBH (cm)	Bylaw Protected?	Species	Crown Spread (m)
494	103	yes	Western Red Cedar	10
495	85	yes	Western Red Cedar	10
496	8	no	Maple Spp.	2
497	7	no	Maple Spp.	2
498	8	no	Maple Spp.	3
499	7	no	Maple Spp.	3

TOTAL TREES TO BE REMOVED: 6
TOTAL BYLAW PROTECTED TREES TO BE REMOVED: 2

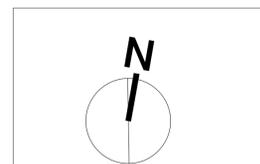
REPLACEMENT TREES

# Proposed	Species
1	Castanea sativa
3	Acer circinatum

TOTAL REPLACEMENT TREES: 4

SEE PLANTING PLAN FOR A FULL LIST OF PROPOSED TREES.

* Based on Arborist's Report received from Talbot Mackenzie & Associates, dated Sept. 12, 2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.



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Planting Plan

project no.	118.26
scale	1: 100 @ 24"x36"
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checked by	SM/PdG
revision no.	sheet no.

L3.01

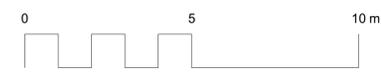
- IRRIGATION NOTES**
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
 - Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
 - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 - Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
 - Refer to mechanical drawings for irrigation point of connection.
 - Refer to electrical drawings for electrical service.
 - Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 - At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
 - Trees within shrub or rain garden areas to be irrigated with spray heads.

- BOULEVARD PLANTING NOTES**
- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
 - Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
 - Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
 - Landscape within boulevard areas to be irrigated (unless otherwise indicated).
 - Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
 - Design and installation of boulevard irrigation system to meet current IABC and Municipal Specifications.
 - Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
 - Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
 - All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.
 - All Boulevard Trees to be inspected by C.O.V. Parks staff: upon delivery of stock; prior to backfilling to inspect planting depth; and upon completion.

PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
Cx	4	Acer circinatum	Vine Maple	1.5 m ht.
Csk	1	Castanea sativa	Sweet Chestnut	5.0cm cal, b+b
Hqa	2	Cladastris 'Perkins Pink' OR TBD by Parks	Yellowwood	5.0 cm cal, b+b
SHRUBS/FERNS/GRASSES/VINES:				
Cx	2	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Csk	44	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Hqa	9	Hydrangea quercifolia 'Amethyst'	Oak-Leaved Hydrangea	#5 pot
Lp	18	Lonicera pileata	Privet Honeysuckle	#2 pot
Ma	37	Mahonia aquifolium	Oregon Grape	#2 pot
Mn	15	Mahonia nervosa	Oregon Grape Holly	#1 pot 40cm o.c.
Msa	29	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Ol-1	12	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rs	16	Ribes sanguineum	Red Flowering Currant	#3 pot
Rof	7	Rosmarinus officinalis	Rosemary	#2 pot
Rp	27	Rubus pentalobus	Taiwan Creeping Rubus	Sp3 30cm o.c.
Sto	12	Salvia officinalis 'purpurascens'	Purple Sage	#1 pot
Tax	6	Taxus x media	Hybrid Yew	#5 pot
Vo	9	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
MEADOW PERENNIALS:				
Ami	135	Achillea millefolium 'red velvet'	Yarrow 'red velvet'	#1 pot
Atc	90	Achillea 'terra cotta'	Yarrow	#1 pot
Aa-1	22	Allium acuminatum	Purple chives	Sp3, 30cm o.c.
Si-1	4	Artemisia schmidtiana 'silverbround'	Silverbround sagebrush	#1 pot
Cr1	34	Crococsmia 'lucifer'	crocosmia	#1 pot
Icr	22	Impatiens cylindrica 'Red Baron'	Japanese blood grass	#1 pot
Pht-1	6	Kniphofia 'Mango Popsicle'	Mango-coloured Red Hot Poker	#5 pot
Saj	22	Sedum 'Autumn Joy'	Autumn Stonecrop	#1 pot
Sm	48	Sedum 'Matrona'	Autumn Stonecrop	#1 pot
Ssc	33	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Stonecrop	Sp3, 30cm o.c.
Si-1-1	90	Stachys byzantina	Lamb's ears	#1 pot
St	56	Stipa tenuissima	Mexican Feathergrass	#1 pot

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.





LEGEND

 EXISTING TREE TO BE REMOVED. SEE ARBORIST REPORT.

NOTES:

1. FOR BUILDING INFORMATION, SEE DRAWINGS BY DHK ARCHITECTS.
2. FOR LANDSCAPING, SEE DRAWINGS BY MURDOCH DE GREEFF. BIKE RACKS, BENCHES, PEDESTRIAN LIGHTING, ETC. NOT SHOWN.
3. FOR TREE INFORMATION INCLUDING DRIPLINES AND TREE REMOVAL/RETAIN, SEE REPORT/DRAWINGS BY TALBOT MACKENZIE & ASSOCIATES.
4. FOR LEGAL INFORMATION, SEE DRAWINGS BY POWELL & ASSOCIATES.
5. UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
6. FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
7. ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RAMPS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
8. BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).

NOTE:
-SEE ARCHITECT AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

SEE ARCHITECTURAL AND LANDSCAPING, DRAWINGS FOR ADDITIONAL INFORMATION

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY POWELL & ASSOCIATES

DECEMBER 14, 2020
ISSUED FOR REZONING



PLAN 18-136-2558 QUADRA STREET V.C. DRAWINGS 18-136-REZONING.DWG 22/12/2020 3:52 PM A1

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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS



McElhanney

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3 PH (250) 370-9221

SEAL

PROJECT:
FOREST HEIGHTS DEVELOPMENT
2558 QUADRA STREET, VICTORIA, BC

TITLE:
CONCEPTUAL SERVICING

SCALE
HORIZ: 1:200 VERT:
PROJECT NO. 18-136 ISSUED/REVISION
APPROVING AUTHORITY FILE NO.
DRAWING NO.
18-136-REZONING