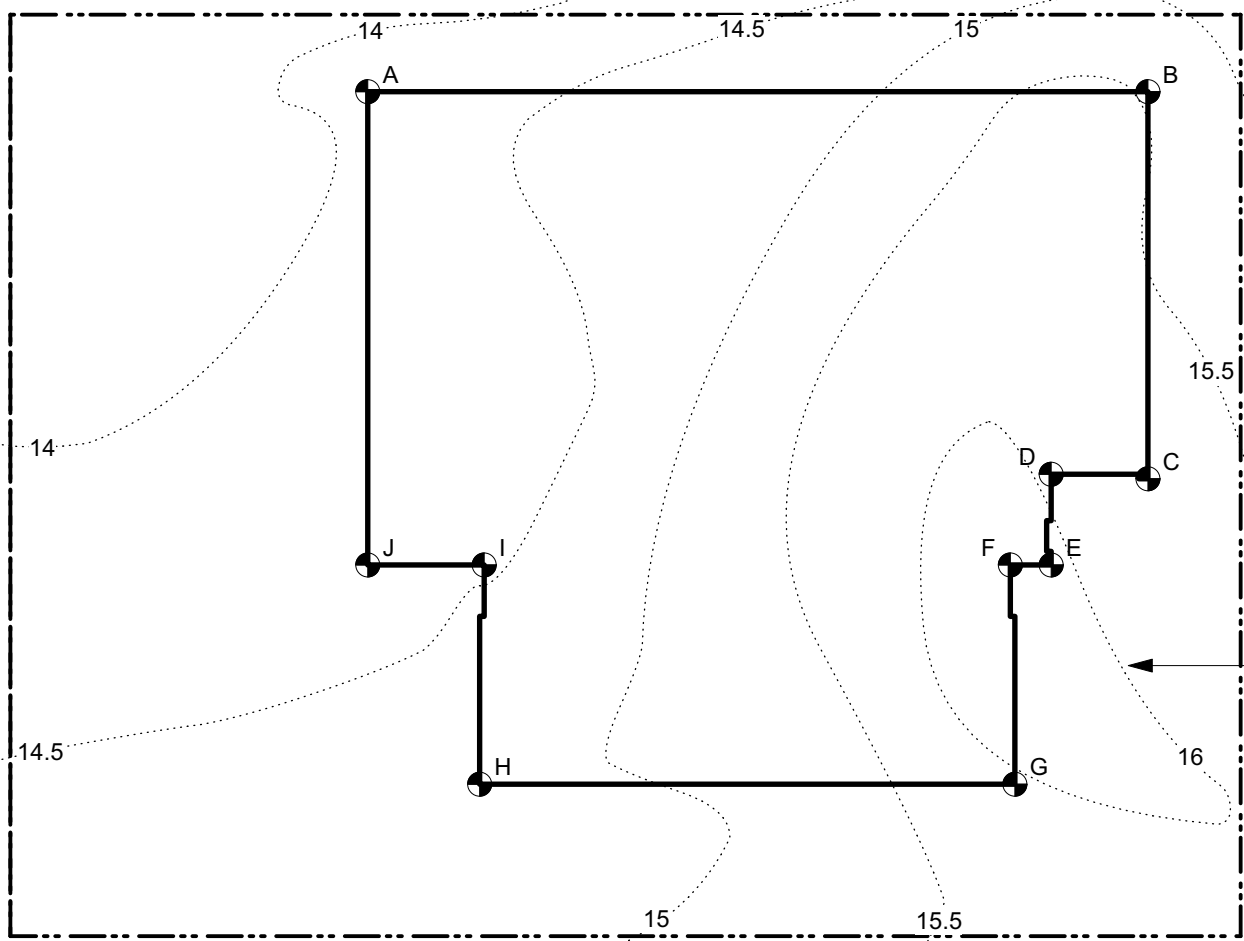


drawing title		
Project Information		
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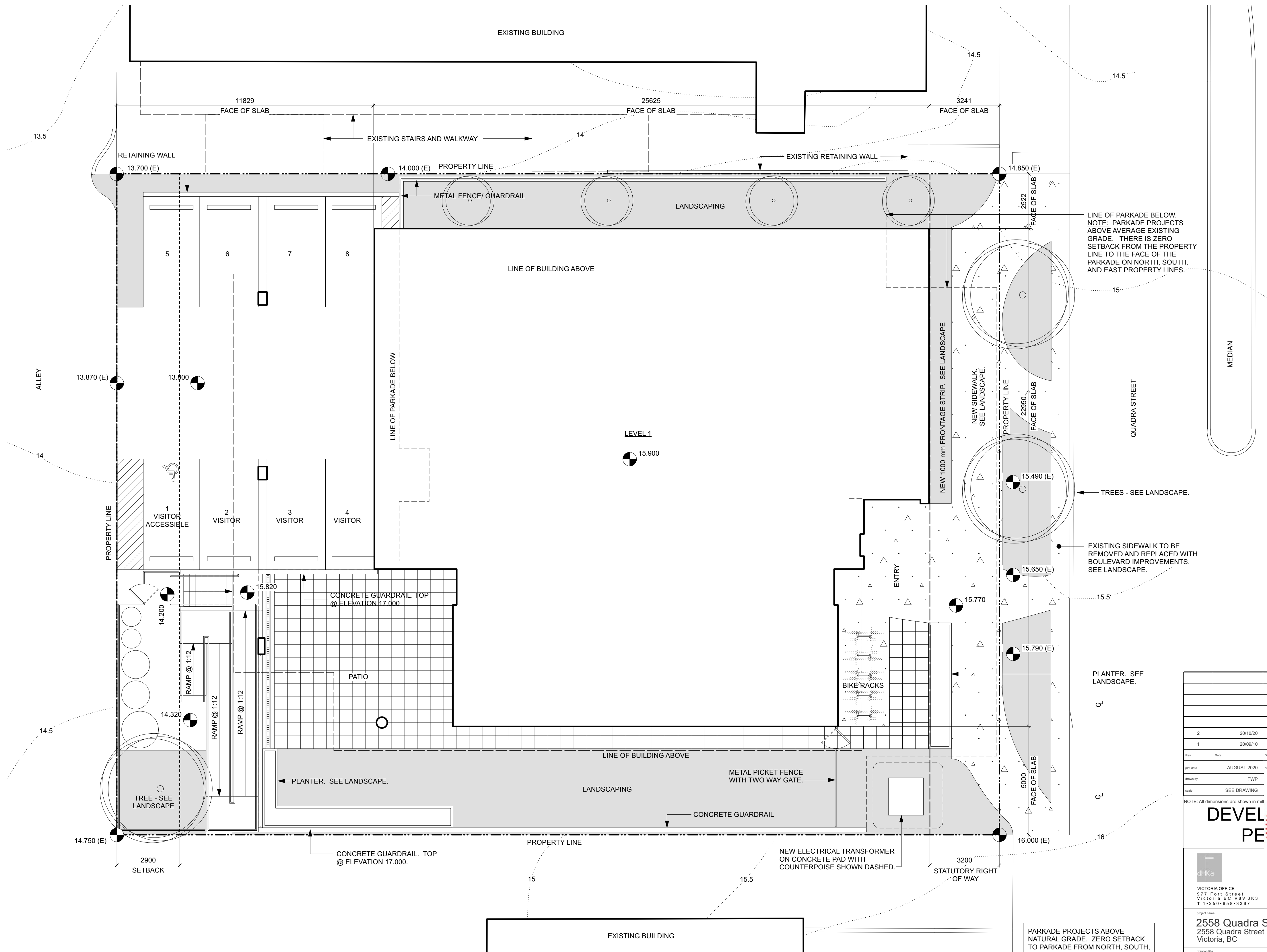


POINTS	AVERAGE	DISTANCE	TOTAL
A&B	((14 + 15.5)/2)	X	25.8 = 380.55
B&C	((15.5 + 16)/2)	X	12.8 = 201.6
C&D	((16 + 16)/2)	X	3.2 = 51.2
D&E	((16 + 16)/2)	X	3.0 = 48
E&F	((16 + 16)/2)	X	1.2 = 19.2
F&G	((16 + 15.7)/2)	X	7.25 = 114.91
G&H	((15.7 + 14.75)/2)	X	17.7 = 269.48
H&I	((14.75 + 14.5)/2)	X	7.25 = 106.03
I&J	((14.5 + 14.4)/2)	X	3.85 = 55.63
J&A	((14.4 + 14)/2)	X	15.65 = 222.23
TOTAL		97.7	1468.83
AVERAGE GRADE	1468.83 / 97.7 = 15.03		

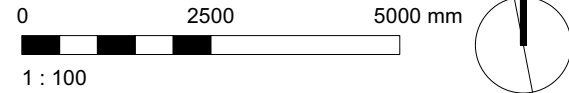
1 Average Grade Calculation
Scale: 1:100

PROJECT INFORMATION TABLE			
ZONE (EXISTING)	C1-QV	BUILDING SETBACKS (M)	
PROPOSED ZONE	NEW ZONE	FRONT YARD	0
SITE AREA (SM)	1239.7	REAR YARD	2.9
TOTAL FLOOR AREA (SM)	2826	SIDE YARD (NORTH)	0
COMMERCIAL FLOOR AREA (SM)	319	SIDE YARD (SOUTH)	0
FLOOR SPACE RATIO	2.3	COMBINED SIDE YARDS	0
SITE COVERAGE (%)	82	RESIDENTIAL USE DETAILS	
OPEN SITE SPACE (%)	42	TOTAL NUMBER OF UNITS	40
HEIGHT OF BUILDING (M)	17.250 (18.120 AS MEASURED FROM AVERAGE GRADE)	UNIT TYPE	STUDIO, ONE BEDROOM, TWO BEDROOM
NUMBER OF STOREYS	5	GROUND ORIENTED UNITS	0
PARKING STALLS (NUMBER) ON SITE	30	MINIMUM UNIT FLOOR AREA (SM)	33
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	56	TOTAL RESIDENTIAL FLOOR AREA (SM)	1872

SHEET NOTES:
1.



2 Site Plan
Scale: 1:100



1	20/10/20	Boulevard Tree Removal
1	20/08/10	Response to Engineering

Rev	Date	Description
1	20/08/10	Response to Engineering

1828 A100

NOTE: All dimensions are shown in mill.

DEVELOPER

PE

REGISTERED ARCHITECT
BRITISH COLUMBIA
2021-01-06

VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	HANAMOTO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1-250-595-5810
---	--







project name
2558 Quadra Street
2558 Quadra Street
Victoria, BC

drawing title
Architectural Site Plan

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drawing no.
A101

revision no.
2


 REINFORCED CONCRETE.
  CONCRETE BLOCK.
  FRAMED WALL.
  BRICK VENEER.
  SIDING AND EXTERIOR INSULATION.
  FIRE RATED SEPARATION.

This architectural floor plan depicts a complex building layout with a grid system (A-D horizontally, 1-4 vertically). The plan includes a large central hall, a parking area (P01), a storage room (P06), a lobby (P04), a stairwell (P05), an office (P07), a mechanical room (P08), a bike rack (P03), and an electrical room (P02). The plan also shows a retaining wall, a ramp up at 5%, and a transformer above. Dimensions are provided for various sections, and the plan is labeled with 'PROPERTY LINE' and 'LINE OF BUILDING ABOVE'.


2	20/10/20	Boulevard Tree Removal	
1	20/09/10	Response to Engineering	
Rev	Date	Description	
job no	AUGUST 2020		1828 A100
author	FWP		
date	SEE DRAWING		

NOTE: All dimensions are shown in mm

DEVEL PE



VICTORIA OFFICE
877 Fort Street
Victoria BC V8Y3K3
T 1-250-688-3367



2021-01-06

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-685-5810

2558 Quadra Street

2558 Quadra Street

Victoria, BC

Planning File

Parkade Plan

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drawing no.

A102

revision no.

2

UNPROTECTED OPENING LIMITS PER TABLE 3.2.3.1 D

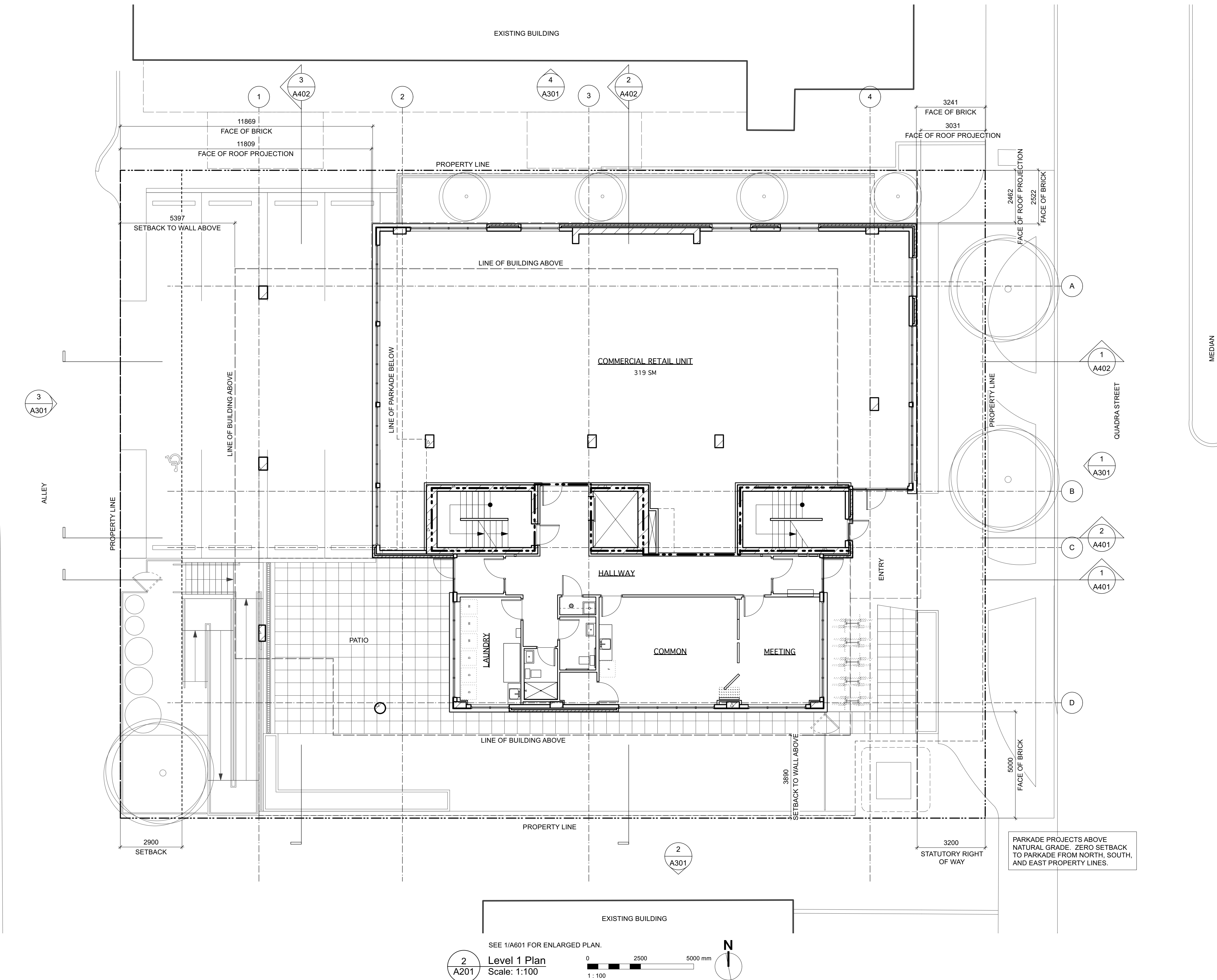
SUITE #	AREA OF EXPOSING BUILDING FACE (SM)	AREA OF UNPROTECTED OPENINGS (SM)	LIMITING DISTANCE (M)	AREA OF UNPROTECTED OPENINGS (%)	
				ALLOWABLE	ACTUAL
NORTH	NORTH	85.8	18	2.5	22
	EAST	41.9	18	> 6	100
	WEST	52.2	27	> 7	100
SOUTH	EAST	24.7	13.6	> 5	100
	SOUTH	59.2	17.3	5	72
	WEST	24.7	11.8	> 5	100

GRAPHIC LEGEND:

- REINFORCED CONCRETE.
- CONCRETE BLOCK.
- FRAMED WALL.
- BRICK VENEER.
- SIDING AND EXTERIOR INSULATION.
- FIRE RATED SEPARATION.

SHEET NOTES:

1.



2	2010/20	Boulevard Tree Removal
1	2008/10	Response to Engineering
Rev	Date	Description
1	AUGUST 2020	FWP
2	2021-01-06	SEE DRAWING
NOTE: All dimensions are shown in mill		
REGISTERED ARCHITECT RICHARD ARCHIBALD 2021-01-06 BRITISH COLUMBIA		
DEVELOPER PE		
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-5367		
NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1-250-595-5810		
project name 2558 Quadra Street 2558 Quadra Street Victoria, BC		
drawing title Level 1 Plan		
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2 A201	2	

UNPROTECTED OPENING LIMITS PER TABLE 3.2.3.1 D

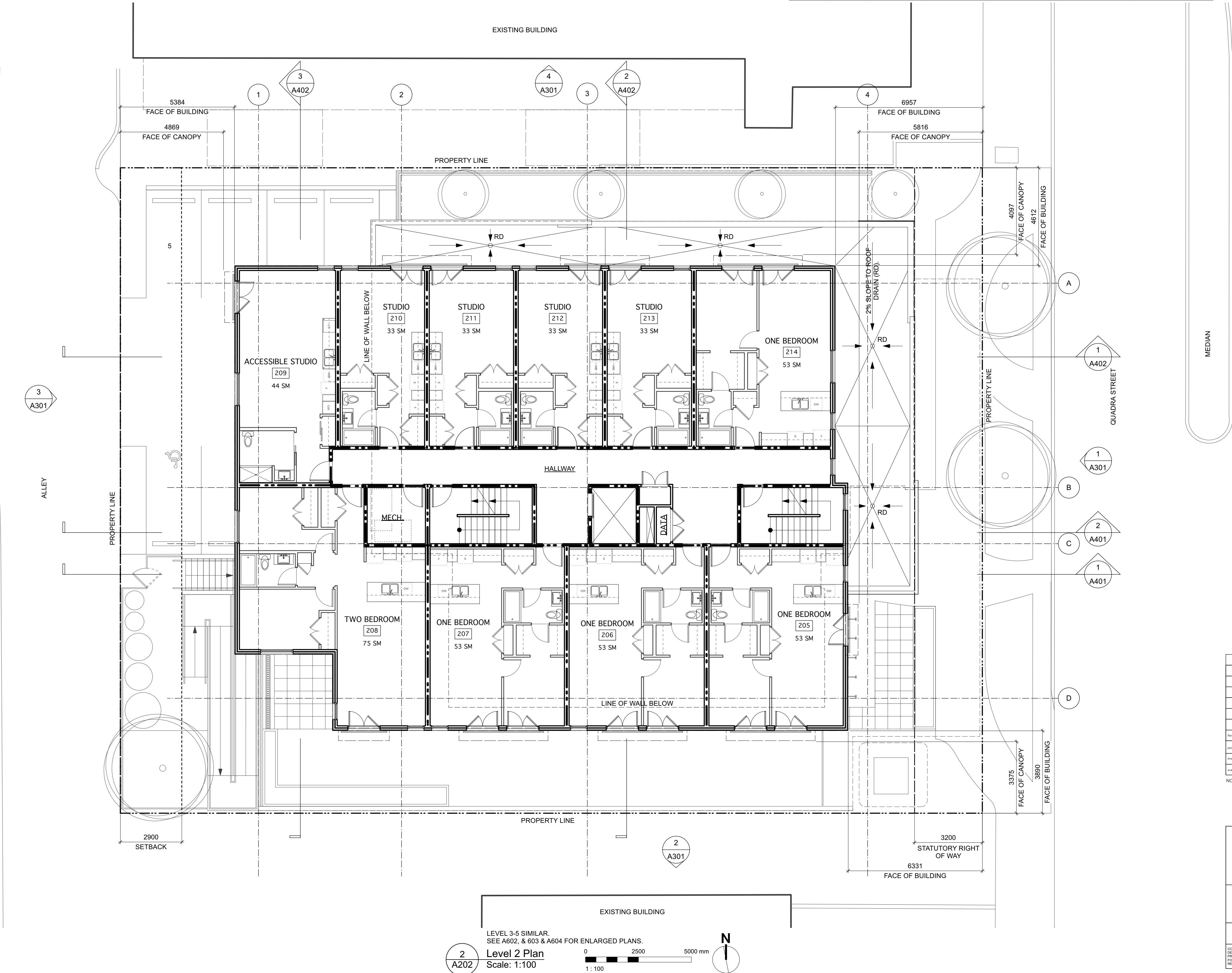
SUITE #	AREA OF EXPOSING BUILDING FACE (SM)		AREA OF UNPROTECTED OPENINGS (SM)	LIMITING DISTANCE (M)	AREA OF UNPROTECTED OPENINGS (%)	
					ALLOWABLE	ACTUAL
205	EAST	24.6	5.05	> 5	100	20.5
	SOUTH	18.9	7.2	5	100	38
206, 207	SOUTH	18.9	8.65	5	100	46
208	SOUTH	25.8	7.25	5	100	28
	WEST	32.9	3.65	> 6	100	11
209	WEST	29.2	5.8	> 5	100	20
	NORTH	13.6	1.45	2.5	50	11
210 - 213	NORTH	12	5.05	2.5	50	42
214	NORTH	18.8	7.2	2.5	42	38
	EAST	24.3	4.35	> 5	100	18

GRAPHIC LEGEND:

- REINFORCED CONCRETE.
- CONCRETE BLOCK.
- FRAMED WALL.
- BRICK VENEER.
- SIDING AND EXTERIOR INSULATION.
- FIRE RATED SEPARATION.

SHEET NOTES:

1.



2	2010/20	Boulevard Tree Removal
1	2008/10	Response to Engineering

DATE: AUGUST 2020
DRAWN BY: FWP
CHECKED BY: SEE DRAWING

NOTE: All dimensions are shown in mill.

REGISTERED ARCHITECT
BRITISH COLUMBIA
2021-01-06

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
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Nanaimo BC V9T 2K8
T 1-250-595-5810

2558 Quadra Street
2558 Quadra Street
Victoria, BC

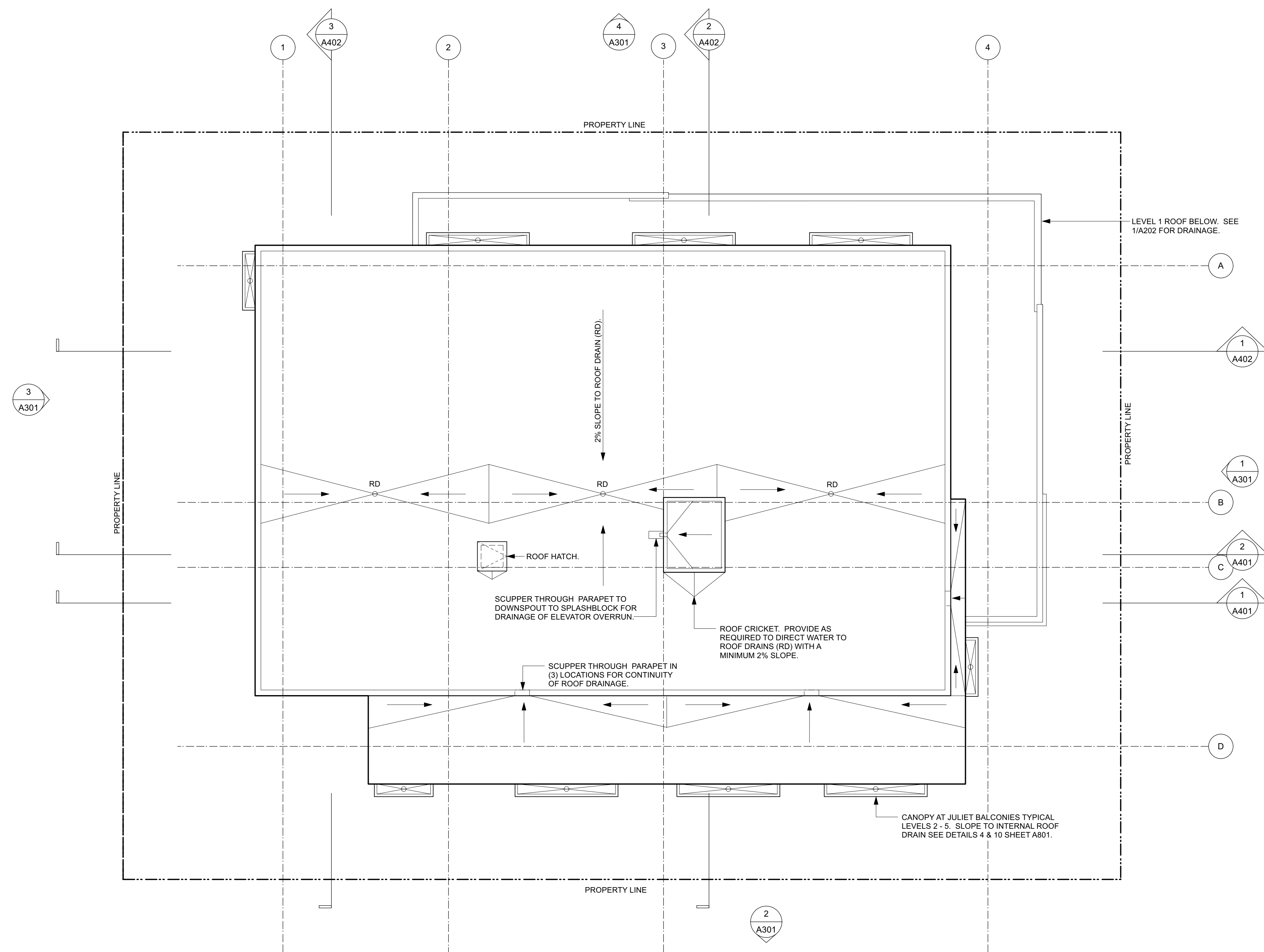
Levels 2-5 Plans

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A202

2

SHEET NOTES:
1. PROVIDE PERMANENT ANCHORS FOR FALL PROTECTION AND WINDOW WASHING AT A MINIMUM DISTANCE OF 2 M BACK FROM THE INSIDE FACE OF THE PARAPET AROUND THE ENTIRE PERIMETER OF ROOF.



Pays	Date	Description
print date	AUGUST 2020	drawing file
		1828 A100

drawn by	FWP
scale	SEE DRAWING

NOTE: All dimensions are shown in mill

REGISTERED ARCHITECT
S. RICHARD

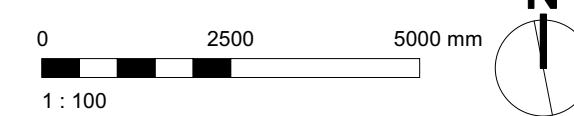
DEVELOPMENT
PE
2021-01-06



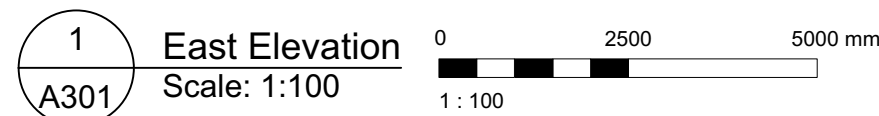
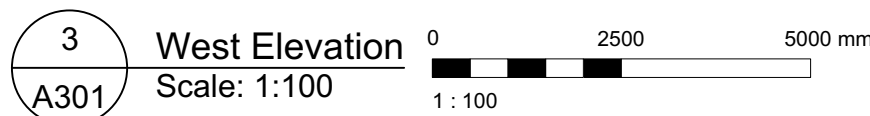
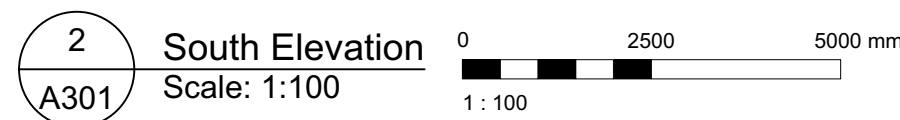
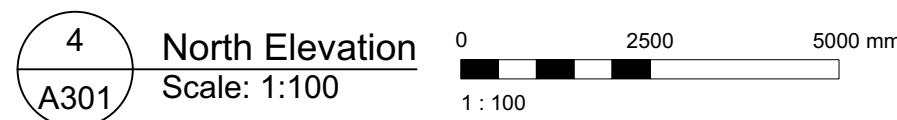
<p>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367</p>	<p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K5 T 1-250-585-5810</p>
<p>project name</p> <p>2558 Quadra Street 2558 Quadra Street Victoria, BC</p>	

drawing title		
Roof Plan		
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2 Roof Plan
A203 Scale: 1:100



A203



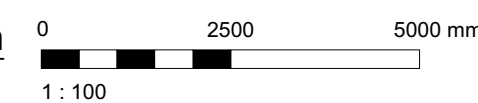
Date	2024-01-06	Description	
Job site	2558 Quadra Street	Drawing No.	1529 A100
Drawn by	FWP		
Notes	SEE DRAWING		
NOTE: All dimensions are shown in millimetres.			
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-656-3367		NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V8T 2K8 T 1-250-685-5810	
project name 2558 Quadra Street 2558 Quadra Street Victoria, BC			
drawings Exterior Elevations			
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2 Existing Quadra Street Elevation
A302 NTS



1 Quadra Street Elevation
A302 Scale: 1:100



Siz	DIM	Description			
plot date:	AUGUST 2020	drawing file:			1629-A
sheet by:	FWP				
notes:	SEE DRAWING				
NOTE: All dimensions are shown in millimetres.					
DEVELOPMENT PE			2021-01-06		
 VICTORIA OFFICE 977 Fort Street Victoria BC V8W 3K3 T 1-250-658-5367			NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2G6 T 1-250-658-5810		
project name: 2558 Quadra Street 2558 Quadra Street Victoria, BC					
Streetscape			drawing no. A302		
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9 Aerial View from South East
A303



8 Aerial View from North East
A303



7 North West Corner
A303



6 South West Corner
A303



5 South East Corner
A303



4 North East Corner
A303



3 Alley Entry
A303



2 Quadra Street Entry
A303



1 Quadra Street Entry
A303

Rev		Date	Description	1628 A100
1		AUGUST 2020	FWP	
2		SEE DRAWING		
NOTE: All dimensions are shown in mill				

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-608-3367

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2558 Quadra Street
2558 Quadra Street
Victoria, BC

Perspectives

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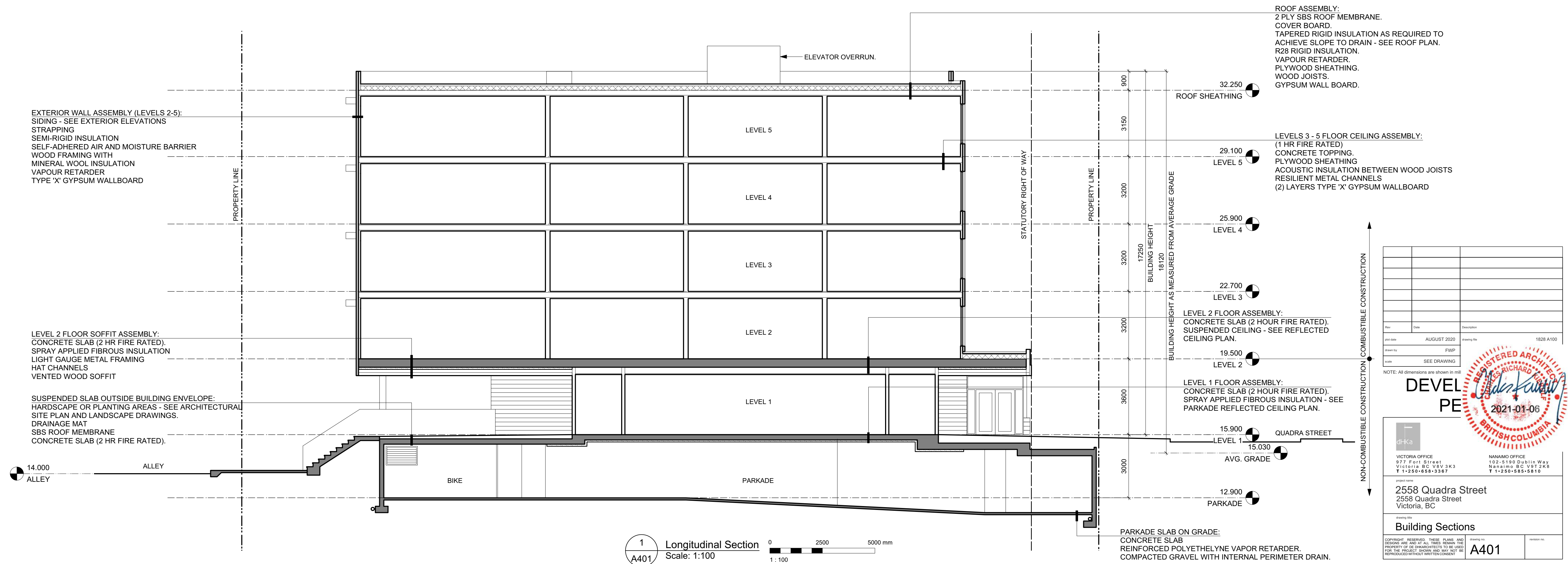
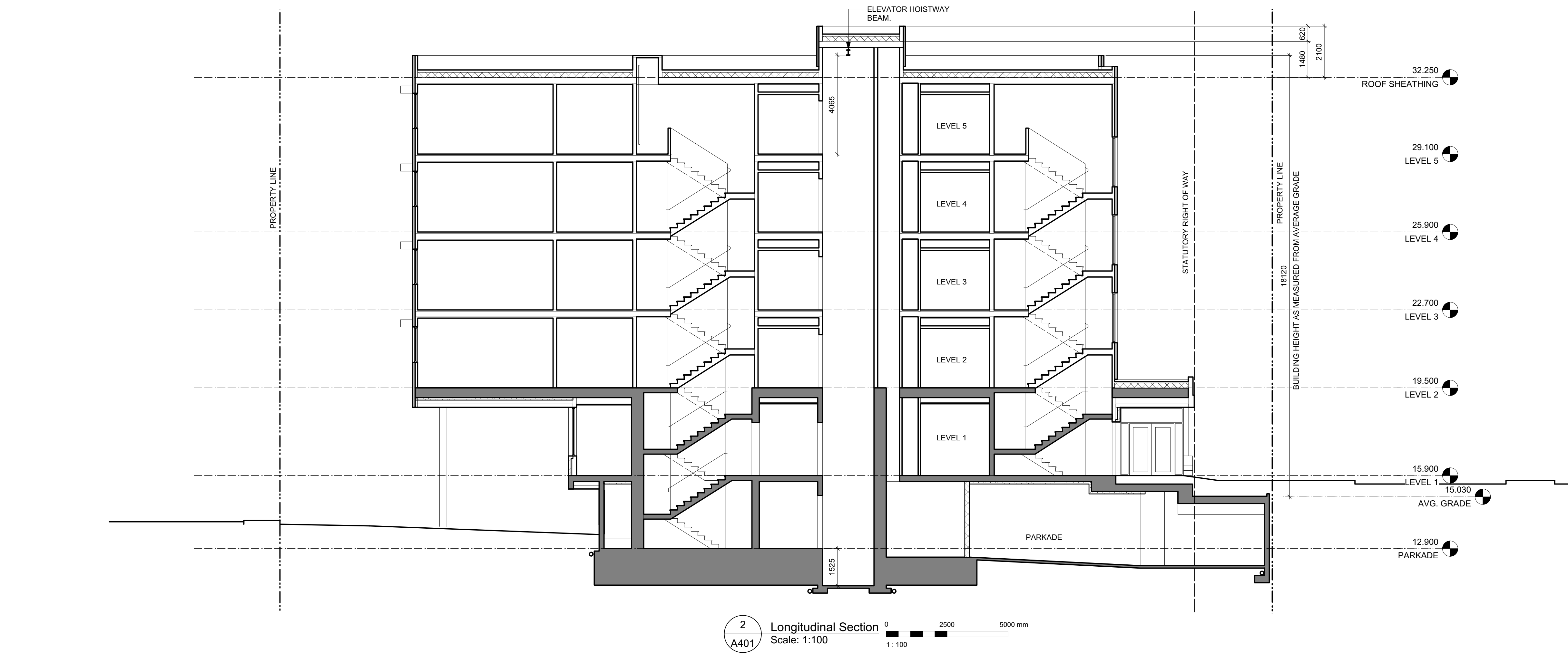
2021-01-06

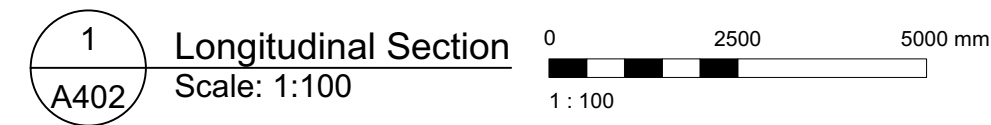
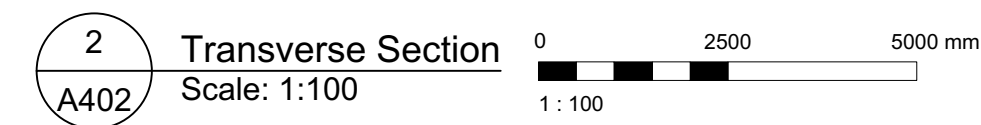
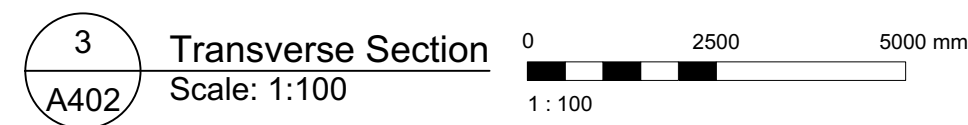
REGISTERED ARCHITECT
BRITISH COLUMBIA

PROJECT NO.
A303



DRAWING NO.

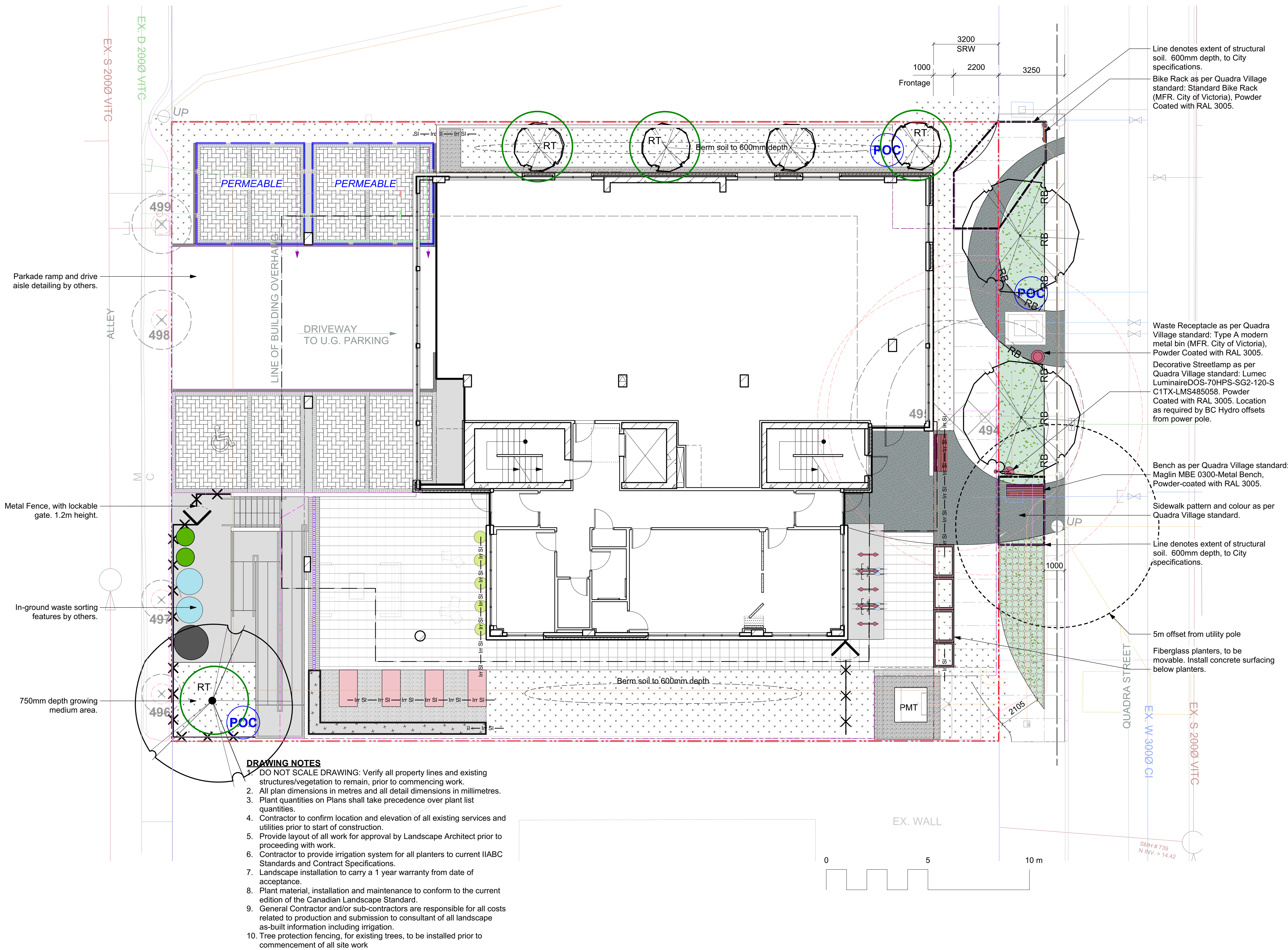
SHEET NOTES:
1. INTERIOR PARTITIONS WITHIN SUITES NOT SHOWN FOR CLARITY.





SHEET NOTES:
1. SEE SHEET A401 FOR BUILDING SECTION NOTES.

Size		Description	
Date		Drawing No.	
Plot date		August 2020	
Drawing by		FWP	
Notes		SEE DRAWING	
NOTE: All dimensions are shown in millimetres			
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		<div style="display: flex; justify-content: space-around;"> <div> <p>VICTORIA OFFICE 977 Fort Street Victoria BC V8W 3K3 T 1-250-658-3367</p> </div> <div> <p>NANAIMO OFFICE 102-5180 Dublin Way Nanaimo BC V9T 2K8 T 1-250-585-8810</p> </div> </div>	
<p>project name:</p> <h2 style="text-align: center;">2558 Quadra Street</h2> <p style="text-align: center;">Victoria, BC</p>			
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<p>Drawing title:</p> <h1 style="text-align: center;">Building Sections</h1>			
<p>PROJECT NO.</p> <h2>A402</h2>		<p>PROJECT FILE</p>	



DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

LANDSCAPE TYPOLOGIES

1. Common Patio: Concrete unit pavers with outdoor couches and bistro tables. Wood screen and community bulletin board at parking.

2. Allotment Gardens and Herb Box: Located in sunniest portion of patio.

3. Tall Screening Plantings: Planters with deeper soil to grow evergreen shrubs and tall grasses as screening between properties.

4. Meadow: Shallow growing medium planted with low-maintenance perennial flowers and grasses.

5. Welcoming Entry: Quadra Village materials and patterns, bike racks, and ornamental plantings.

6. In-Ground Waste Sorting: Molok Waste Systems. 1 X M-5000 Garbage, 2 X M-3000 paper/plastic, 2 X M-1300 compost/glass.

LEGEND

<div><div></div>Property line</div> <div><div></div>Extent of Parkade, below</div>		
UNDERGROUND UTILITIES		
EXISTING	PROPOSED	
<div></div> Storm drain	<div></div>	
<div></div> Sewer	<div></div>	
<div></div> Water	<div></div>	
<div></div> Electrical	<div></div>	
<div></div> Gas	<div></div>	
LANDSCAPE MATERIALS		
<div>—RB—</div>	Root Barrier: 450mm depth root barrier, top of root barrier to be 50mm below sidewalk.	NA
<div>—Irr SI—</div>	Irrigation Sleeve: 100mm/4" dia. Schd 40 PVC. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	NA
<div>✕→</div>	Metal Picket Fence 1.2m height, c/w lockable gate. Refer to Arch dwgs.	See Arch Dwgs
<div></div>	Cast in Place Concrete Wall, height varies. By others.	See Structural Dwgs
<div></div>	Cast in Place Concrete Flush Edge Restraint	
<div></div>	UNIT PAVING TYPE 1: 457x457x40mm HydraPressed Slab, Texada, Charcoal, Abbotsford Concrete Products or approved equivalent.	1 L4.01
<div></div>	UNIT PAVING TYPE 2: Standard Series, 225x112.5x80mm, 90° herringbone c/w soldier course border, colour: shadow c/w charcoal border, Abbotsford Concrete Products or approved equivalent. AquaPave Standard, 221.5x110x80mm where noted permeable.	See Civil Dwgs
<div></div>	UNIT PAVING TYPE 3: Standard Series, 225x112.5x80mm, soldier course, charcoal, Abbotsford Concrete Products or approved equivalent.	1 L4.01
<div></div>	Granular Surfacing / Building Maintenance Strip	6 L4.01
<div></div>	ON-SITE: Cast in place concrete paving c/w broom finish, tooled joints.	5 L4.01
<div></div>	SIDEWALK: Cast in place concrete paving c/w broom finish, tooled joints as shown on plan.	See Civil Dwgs
<div></div>	SIDEWALK: Cast in place concrete paving, charcoal colour to match Quadra standard, c/w broom finish. Provide mock-up for LA Review. See plan for Structural Soil locations. Refer to Civil dwgs.	See Civil Dwgs
<div></div>	PLANTING AREA: 450 mm depth (average) growing medium, unless noted otherwise on plan, Type 2P C.L.S. On-slab depth varies, refer to grading plan and Arch concrete (slab) dwgs.	5 L4.02
<div></div>	BOULEVARD LAWN: 600 mm growing medium, Type 2L C.L.S c/w seed to City specifications.	4 L4.02
<div></div>	STABILIZED BOULEVARD LAWN (HYDRO ACCESS): Install CORE Grass turf stabilizing system to mfr. specifications, over 600 mm growing medium, Type 2L C.L.S c/w seed to City specifications.	NA
<div></div>	Structural Soil Below Sidewalk, 600 mm depth to City specifications.	NA
LANDSCAPE FURNISHINGS		
<div></div>	Bike Rack, 2 Stalls Per Rack	
<div></div>	Prefabricated Aluminum Planter (edger style) set on granular sub base over parkade slab. Allow drainage and irrigation sleeving.	
<div></div>	Prefabricated, standalone Fiberglass Planter, 450mm height, set over concrete sidewalk surfacing. Shim to level. Allow drainage and irrigation sleeving.	
<div></div>	Allotment Garden Bed: Cedar construction.	
<div></div>	In-Ground Waste Sorting by others.	
<div>53</div>	Existing Tree to be Removed See Planting Plan for More Information	
<div></div>	Critical Root Zone (CRZ)	
<div></div>	Tree Tag #	
<div>RT</div>	Replacement Tree	

N

NOT FOR CONSTRUCTION

5	Revised Rezoning/DP	20.12.16
4	Revised Rezoning/DP	20.08.31
3	Revised Rezoning/DP	20.02.11
2	Revised Rezoning/DP	19.10.21
1	Rezoning/DP	19.07.03
rev no	description	date

Murdoch de Greeff INC

Landscape Planning & Design

200 - 554 Cuthbert Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client

GVHS
2326 Government St.
Victoria, BC

project

GVHS @ 2558 Quadra
2558 Quadra St,
Victoria, BC

sheet title

Landscape Materials

project no.	118.26
scale	1: 100 @ 24"x36"
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.
5	L1.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

