

BC LAND SURVEYORS SITE PLAN OF:

Civic: 2558 Quadra Street

Legal: Lot A, Section 4,

Victoria District, Plan 11029

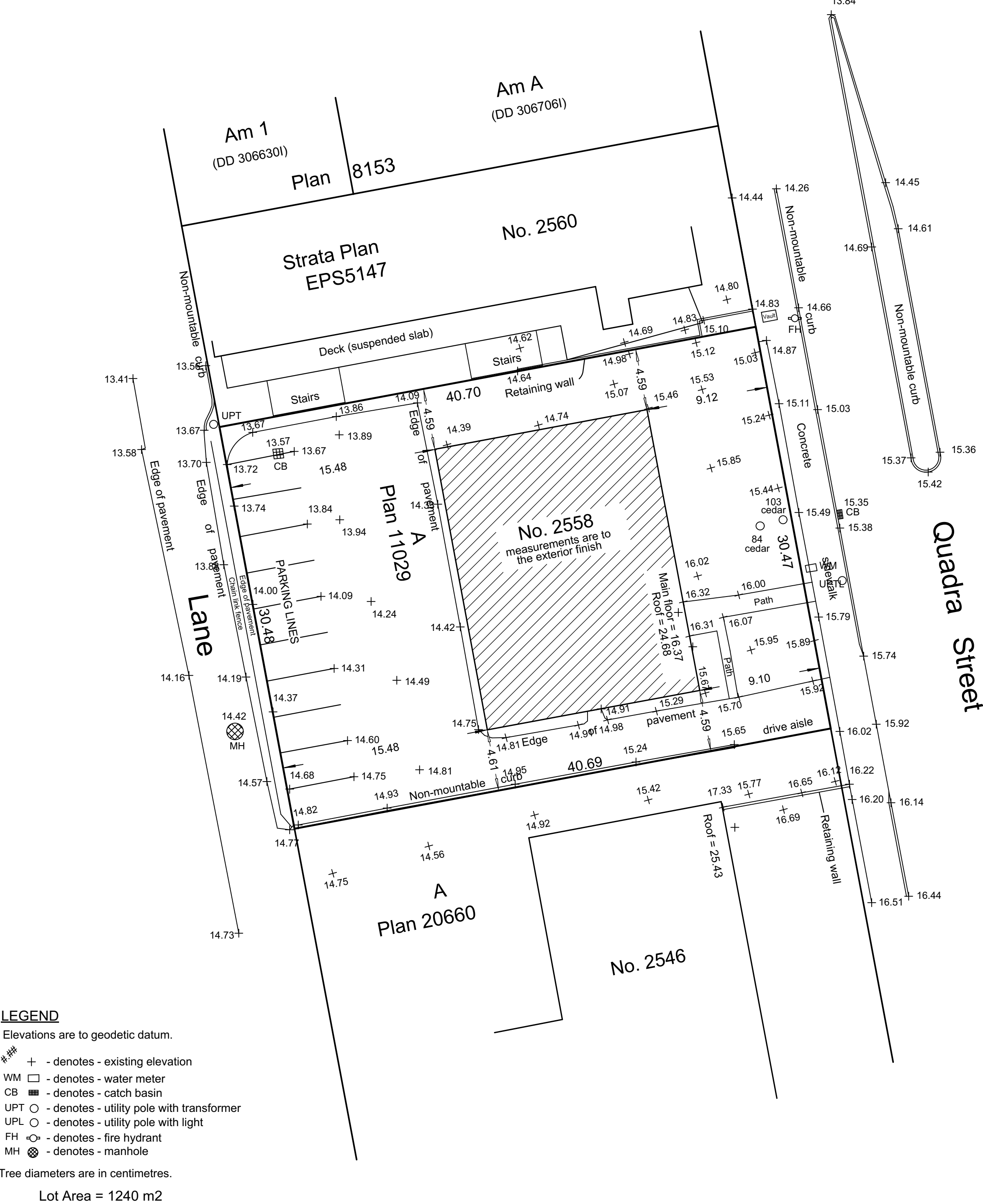
Parcel Identifier: 005-121-299 in the City of Victoria

SCALE 1 : 3 0 0

0 2 5 10 15 20

All distances are shown in metres.

Plot on 11" x 17" sheet.



LEGEND

Elevations are to geodetic datum.

+ - denotes - existing elevation
WM □ - denotes - water meter
CB ■ - denotes - catch basin
UPT ○ - denotes - utility pole with transformer
UPL ○ - denotes - utility pole with light
FH ○ - denotes - fire hydrant
MH ⊗ - denotes - manhole

Tree diameters are in centimetres.

Lot Area = 1240 m2

August 3, 2018

File : 12,827 - 25
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The following non-financial charges are shown on the current title and may affect the property.
M76301 - Undersurface rights

Setbacks are derived from field survey.

Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

PROJECT INFORMATION

CIVIC ADDRESS
2558 QUADRA STREET

LEGAL DESCRIPTION
LOT A, SECTION 4, VICTORIA DISTRICT PLAN 11029

SITE AREA
1239.7 SM

PROJECT DESCRIPTION
4 STOREYS OF RESIDENTIAL AFFORDABLE HOUSING ABOVE ONE STOREY OF GROUND FLOOR COMMERCIAL WITH ONE BASEMENT LEVEL OF PARKADE.

BUILDING HEIGHT
5 STOREYS, 17.250 M (BCBC)

BUILDING AREA
700 SM (BCBC)

GROSS BUILDING FLOOR AREA	BCBC	ZONING
PARKADE	880 SM	7
GROUND FLOOR LEVEL 1	525 SM	486 SM
LEVELS 2 - 5	2400 SM	2340 SM
TOTAL (EXCLUDING PARKADE)	2945 SM	2826 SM

RESIDENTIAL UNITS	BC HOUSING	ZONING
16 STUDIO @	36 SM	33 SM
4 ACCESSIBLE STUDIO @	48 SM	44 SM
16 ONE BED @	56 SM	53 SM
4 TWO BED @	79 SM	75 SM
40 TOTAL		

COMMERCIAL UNITS		ZONING
1 COMMERCIAL/ RETAIL UNIT @	330 SM	319 SM

VEHICLE PARKING
PARKADE 22
SURFACE 8
TOTAL 30

BICYCLE PARKING
LONG TERM 48
SHORT TERM 10
TOTAL 58

VICTORIA ZONING BYLAW SUMMARY

ZONING (CURRENT)
C1-QV, QUADRA VILLAGE DISTRICT

USE
COMMERCIAL
RESIDENTIAL

FLOOR SPACE RATIO
GROSS BUILDING FLOOR AREA (ZONING) / SITE AREA
2826/1239.7 = 2.3

SITE COVERAGE
AREA OF LOT OCCUPIED BY ANY STRUCTURE/ SITE AREA
1014/1239.7 = 82%

OPEN SITE SPACE
SITE AREA - (BUILDING AREA + SURFACE PARKING AREA)
1239.7 - 720 = 519.7
OPEN SITE SPACE/ SITE AREA
519.7/ 1239.7 = 42%

AVERAGE GRADE: 15.03 M (GEODETIC)
SEE SITE PLAN FOR GRADE CALCULATION

HEIGHT OF BUILDING: 18.120 M AS MEASURED FROM AVERAGE GRADE.

VEHICLE PARKING		
AFFORDABLE RENTAL UNITS		
< 45 SM	2 X 20	= 4
45 - 70 SM	.5 X 16	= 8
> 70 SM	.75 X 4	= 3
SUB-TOTAL		15
VISITOR	.1 X 40	= 4
COMMERCIAL	319/20	= 16
TOTAL REQUIRED		35
PROVIDED		30

BICYCLE PARKING		
LONG TERM		
< 45 SM	1 X 20 = 20	
> 45 SM	1.25 X 20 = 25	
COMMERCIAL	319/100 = 3	
TOTAL LONG TERM REQUIRED		48
TOTAL PROVIDED		48

SHORT TERM		
RESIDENTIAL (THE GREATER OF)	.1 X 40 OR 6	
COMMERCIAL	319/100 = 4	
TOTAL SHORT TERM REQUIRED		10
TOTAL PROVIDED		10



CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018, DIVISION B - PART 3

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
BELOW GRADE PARKADE -
GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL
GROUND FLOOR COMMERCIAL RETAIL UNIT (CRU) - ANY OF THE FOLLOWING -
GROUP A2 - ASSEMBLY
GROUP D - BUSINESS AND PERSONAL SERVICES
GROUP E - MERCANTILE
LEVELS 2 - 5 -
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)
BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

A2/C - 1 HOUR
A2/D - 1 HOUR
A2/E - 2 HOUR
C/D - 1 HOUR
C/E - 2 HOUR
D/E - NONE REQUIRED

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
3.2.2.24 - GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS
ALLOWABLE AREA - ANY
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS & 18 M
ALLOWABLE AREA - 1440 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.56 - GROUP D, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS
ALLOWABLE AREA - 8640 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR

3.2.2.62 - GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - ANY HEIGHT
ALLOWABLE AREA - ANY AREA
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED
FIRE SUPPRESSION - FULL SPRINKLERED
ALLOWABLE HEIGHT - ANY HEIGHT
ALLOWABLE AREA - ANY AREA
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLIES - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION

PARKADE -
FIRE SUPPRESSION - FULL SPRINKLERED
HEIGHT - 1 STOREY
AREA - 880 SM
CONSTRUCTION - NON COMBUSTIBLE
FLOOR ASSEMBLY - 2 HOUR
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

BUILDING -
FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 5 STOREYS, 17.250 M
AREA - 700 SM
CONSTRUCTION
LEVEL 1 - NON COMBUSTIBLE (INCLUDING FLOOR ABOVE)
LEVELS 2 - 5 - COMBUSTIBLE (EXCEPT LEVEL 2 FLOOR)
FLOOR ASSEMBLY
LEVEL 2 - 2 HOUR (NON COMBUSTIBLE)
LEVELS 3 - 5 - 1 HOUR
SUPPORTING WALLS AND STRUCTURE
LEVEL 1 - 2 HOUR
LEVELS 2 - 5 - 1 HOUR
ROOF ASSEMBLY - NONE

DRAWING INDEX

ARCHITECTURAL
A001 PROJECT INFORMATION

A101 ARCHITECTURAL SITE PLAN
A102 PARKADE PLAN
A201 LEVEL 1 PLAN
A202 LEVELS 2 - 5 PLANS
A203 ROOF PLAN
A301 EXTERIOR ELEVATIONS
A302 STREETSCAPE
A303 PERSPECTIVES
A401 BUILDING SECTIONS
A402 BUILDING SECTIONS

CIVIL
18-136-REZONING CONCEPTUAL SERVICING

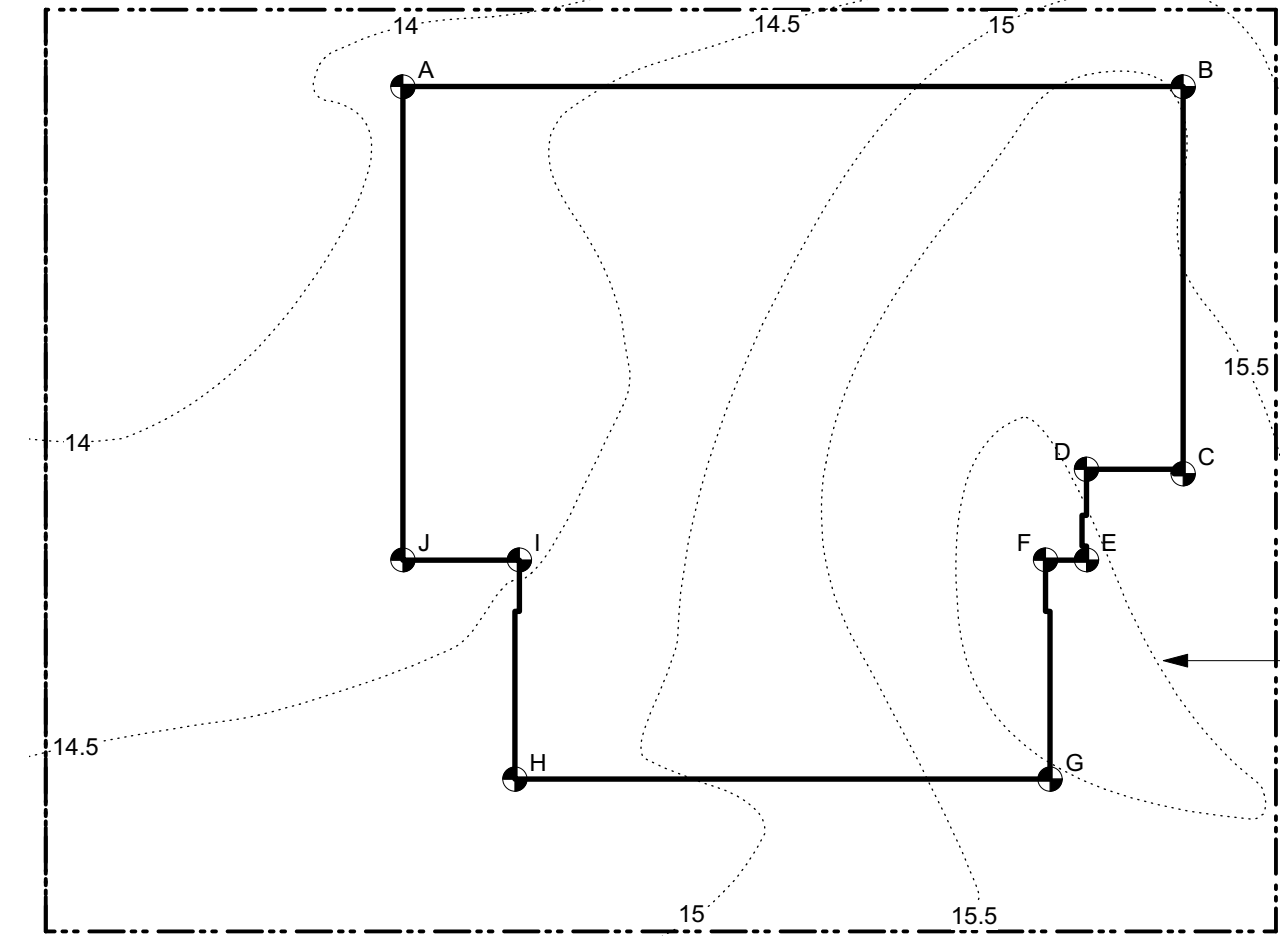
LANDSCAPE
L1.01 LANDSCAPE MATERIALS
L3.01 PLANTING PLAN

Rev	Date	Description
2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO ZONING REVIEW COMMENTS

NOTE: All dimensions are shown in millimeters.

ISSUED FOR
REZONING

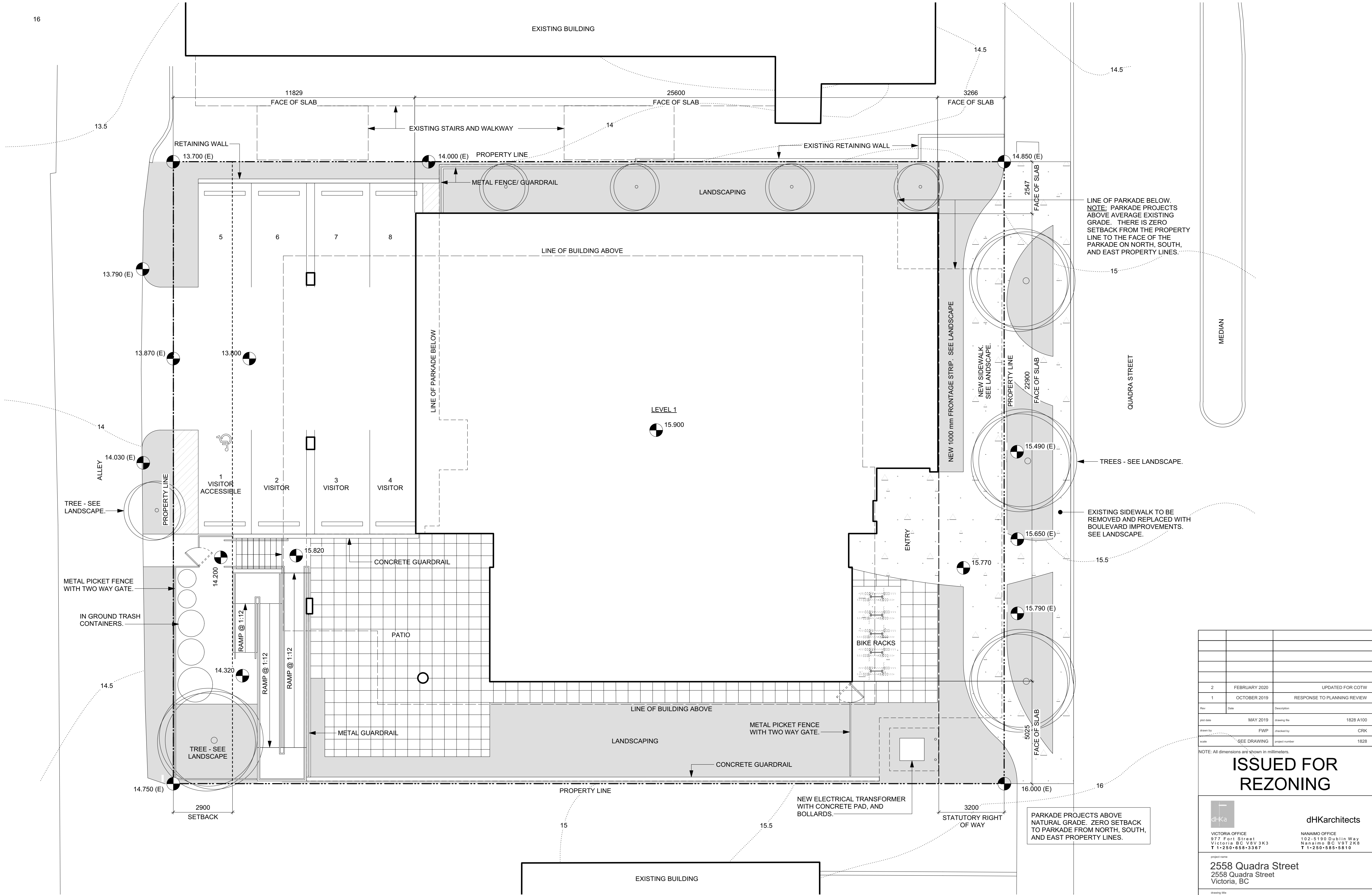
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project name 2558 Quadra Street 2558 Quadra Street Victoria, BC	
Project Information	
copyright reserved. these plans and drawings are not to be used for any other project without the written consent of the project owner and may not be reproduced without written consent.	sheet no. A001
sheet no. 2	



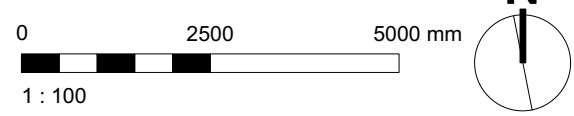
GRADE CALCULATION				
POINTS	AVERAGE		DISTANCE	TOTAL
A&B	$((14 + 15.5)/2)$	X	25.8	= 380.55
B&C	$((15.5 + 16)/2)$	X	12.8	= 201.6
C&D	$((16 + 16)/2)$	X	3.2	= 51.2
D&E	$((16 + 16)/2)$	X	3.0	= 48
E&F	$((16 + 16)/2)$	X	1.2	= 19.2
F&G	$((16 + 15.7)/2)$	X	7.25	= 114.91
G&H	$((15.7 + 14.75)/2)$	X	17.7	= 269.48
H&I	$((14.75 + 14.5)/2)$	X	7.25	= 106.03
I&J	$((14.5 + 14.4)/2)$	X	3.85	= 55.63
J&A	$((14.4 + 14)/2)$	X	15.65	= 222.23
TOTAL			97.7	1468.83
AVERAGE GRADE 1468.83 / 97.7 = 15.03				

2 Average Grade Calculation
A101 Scale: 1:100

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	C1-QV
PROPOSED ZONE	NEW ZONE
SITE AREA (SM)	1239.7
TOTAL FLOOR AREA (SM)	2826
COMMERCIAL FLOOR AREA (SM)	319
FLOOR SPACE RATIO	2.3
SITE COVERAGE (%)	82
OPEN SITE SPACE (%)	42
HEIGHT OF BUILDING (M)	17.250 (18.120 AS MEASURED FROM AVERAGE GRADE)
NUMBER OF STOREYS	5
PARKING STALLS (NUMBER) ON SITE	30
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	56
BUILDING SETBACKS (M)	
FRONT YARD	0
REAR YARD	2.9
SIDE YARD (NORTH)	0
SIDE YARD (SOUTH)	0
COMBINED SIDE YARDS	0
RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	40
UNIT TYPE	STUDIO, ONE BEDROOM, TWO BEDROOM
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA (SM)	33
TOTAL RESIDENTIAL FLOOR AREA (SM)	1872



1 Site Plan
A101 Scale: 1:100



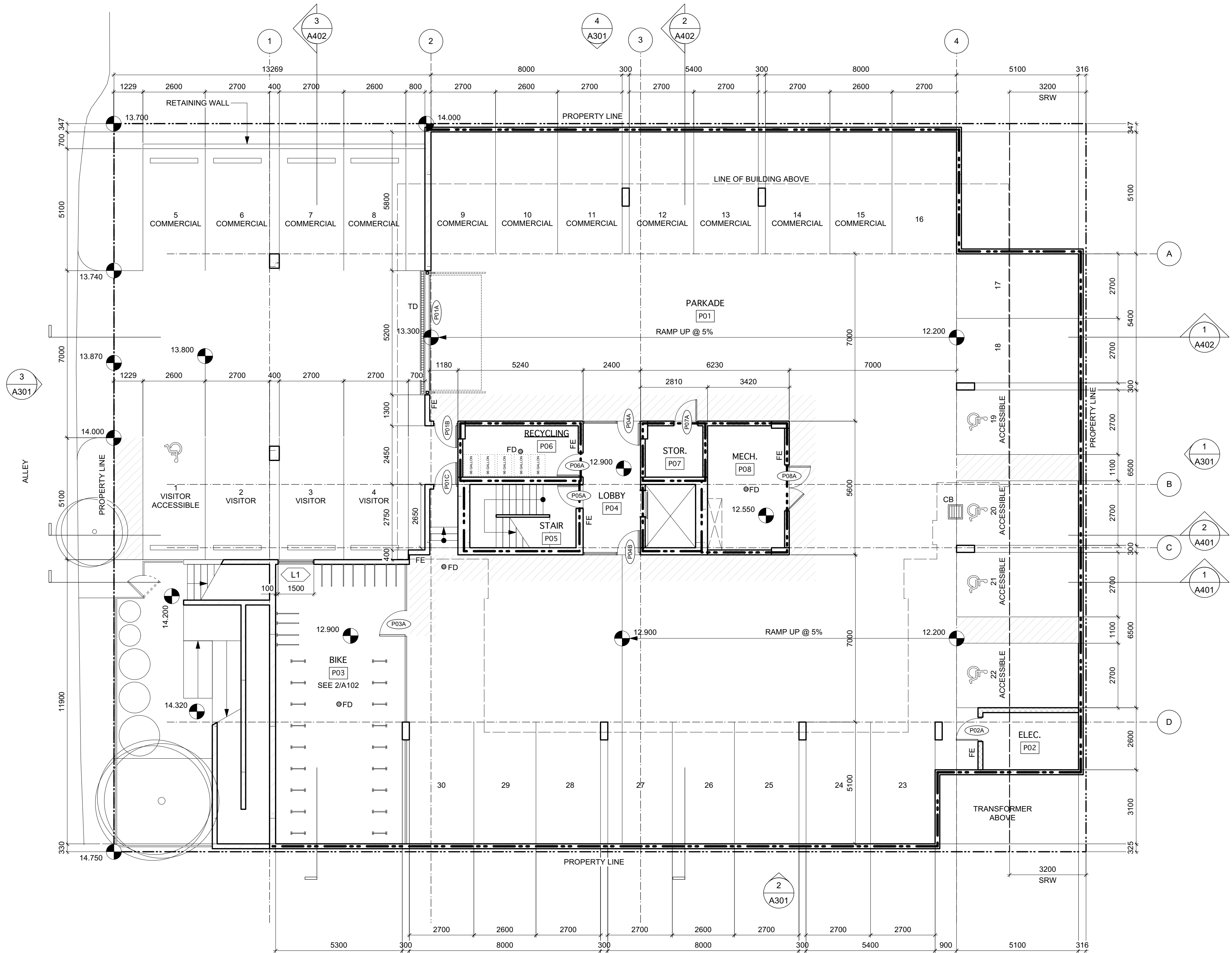
SHEET NOTES:
1.

2 FEBRUARY 2020 UPDATED FOR COTW	
1 OCTOBER 2019 RESPONSE TO PLANNING REVIEW	
Rev	Description
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2	1828 A101
3	1828 A102
4	1828 A103
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GRAPHIC LEGEND:

- REINFORCED CONCRETE.
- CONCRETE BLOCK.
- FRAMED WALL.
- BRICK VENEER.
- SIDING AND EXTERIOR INSULATION.
- FIRE RATED SEPARATION.

SHEET NOTES:
1. PROVIDE (6) 3A40BC 5 LB BRACKET MOUNTED FIRE EXTINGUISHERS (FE) IN LOCATIONS SHOWN.



VEHICLE PARKING CALCULATION

AFFORDABLE RENTAL UNITS	
UNITS < 45 SM	20 X .2 = 4
UNITS 45-70 SM	16 X .5 = 8
UNITS > 70 SM	4 X .75 = 3
SUB-TOTAL	40
VISITOR	40 X .1 = 4
COMMERCIAL/RETAIL	319/20 = 16
TOTAL REQUIRED	35
PROVIDED	30

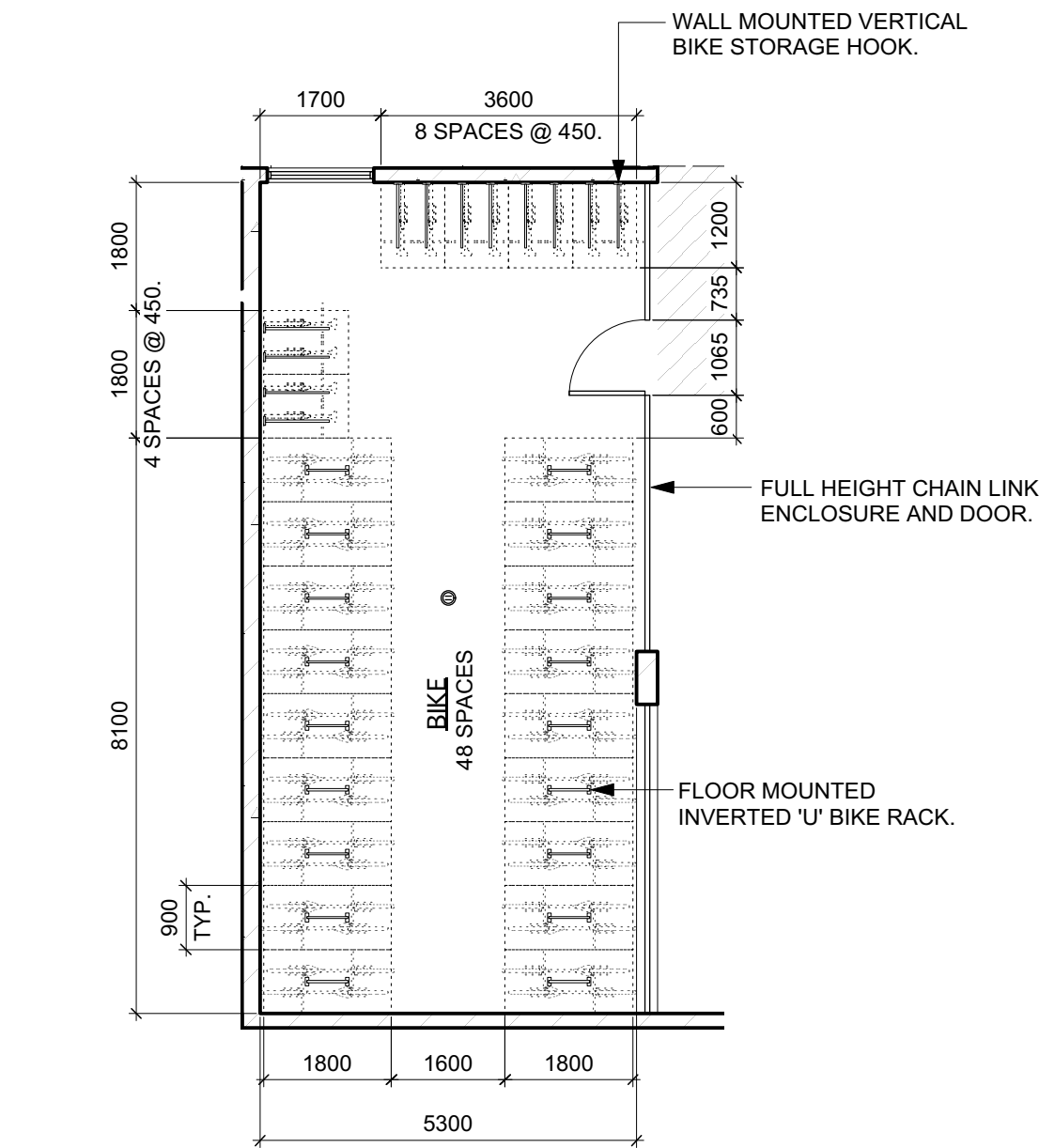
LONG TERM BIKE PARKING CALCULATION	
UNITS < 45 SM	20 X .1 = 20
UNITS > 45 SM	20 X 1.25 = 25
COMMERCIAL/RETAIL	319/100 = 3
TOTAL REQUIRED	48
PROVIDED	48

2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1	MAY 2019	1828 A100
2	FWP	CRK
3	SEE DRAWING	1828

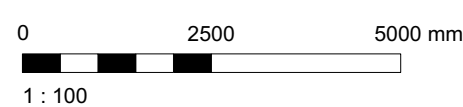
NOTE: All dimensions are shown in millimeters.

ISSUED FOR
REZONING

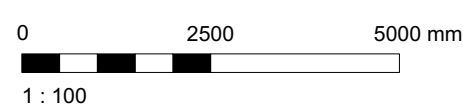
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2558 Quadra Street 2558 Quadra Street Victoria, BC	
Parkade Plan	
project no.	sheet no.
A102	2









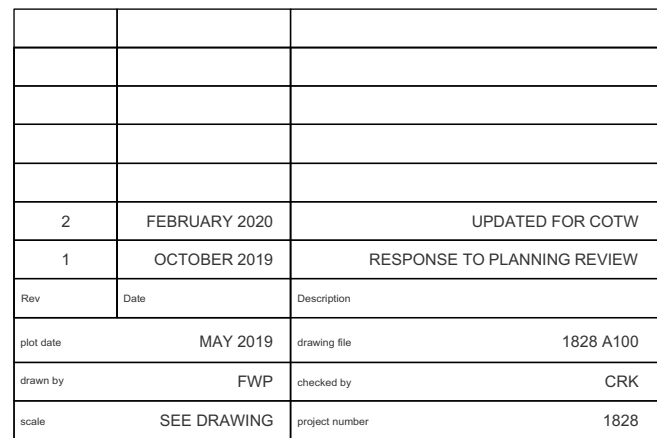
2 Bike Room Furnishings Plan
Scale: 1:100









1 Parkade Plan
Scale: 1:100

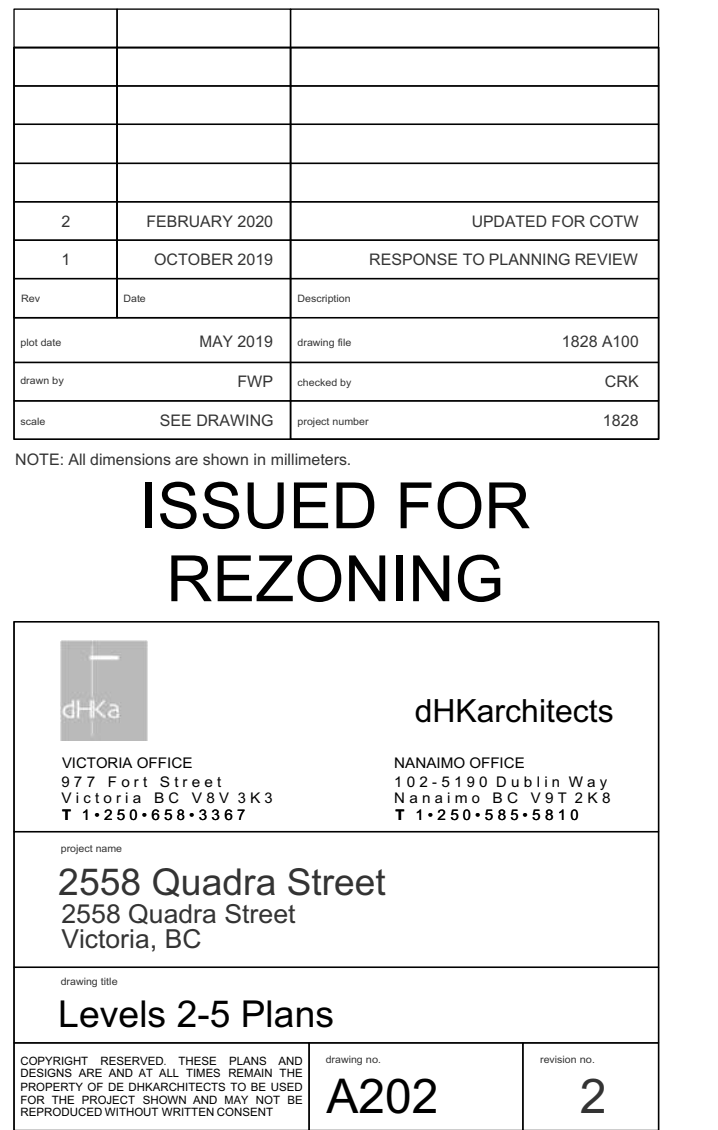


 REINFORCED CONCRETE.
  CONCRETE BLOCK.
  FRAMED WALL.
  BRICK VENEER.
  SIDING AND EXTERIOR INSULATION.
  FIRE RATED SEPARATION.

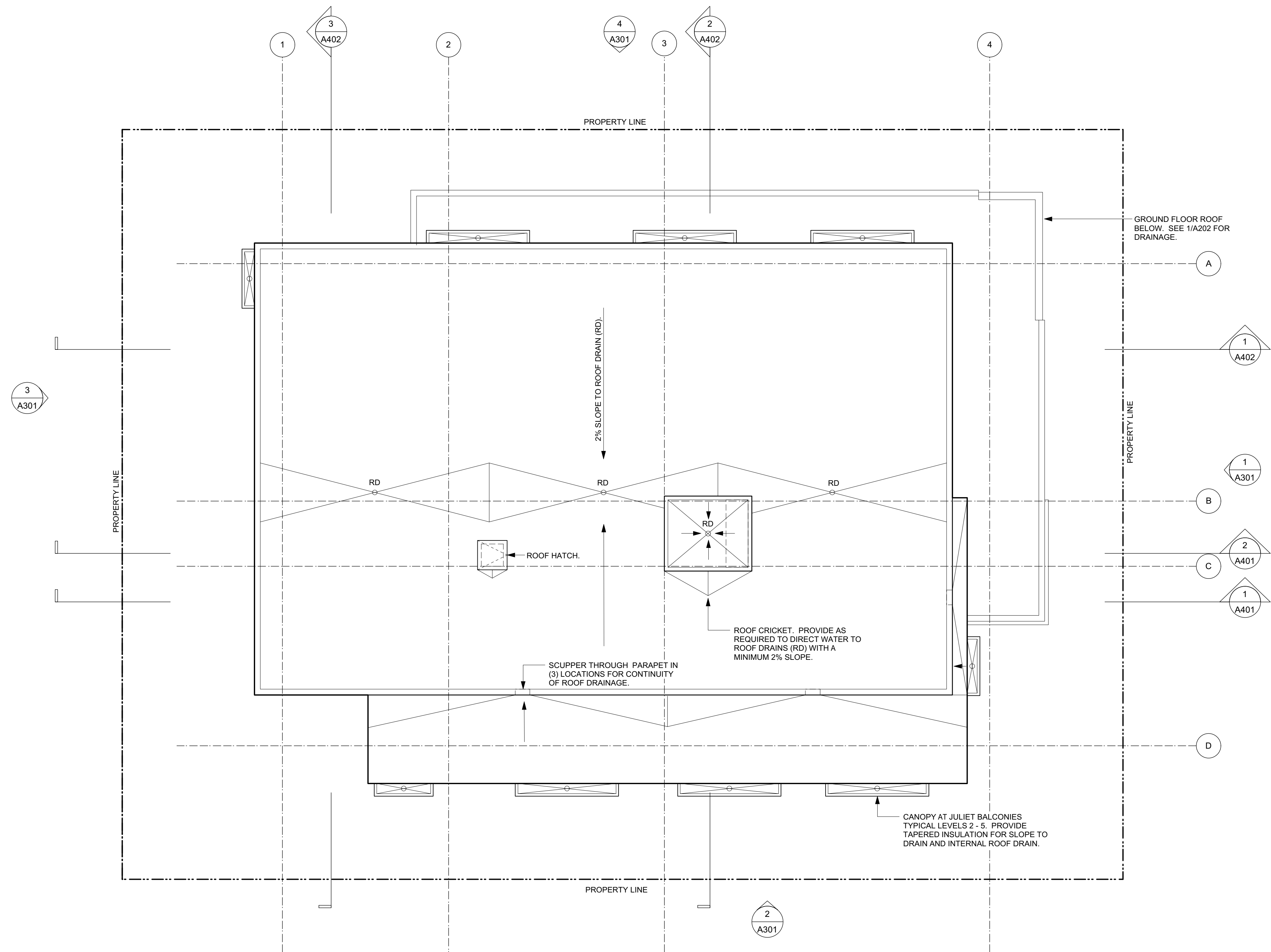


NOTE: All dimensions are shown in millimeters.

-  REINFORCED CONCRETE.
-  CONCRETE BLOCK.
-  FRAMED WALL.
-  BRICK VENEER.
-  SIDING AND EXTERIOR INSULATION.
-  FIRE RATED SEPARATION.



SHEET NOTES:
1. PROVIDE PERMANENT ANCHORS FOR FALL PROTECTION AND WINDOW WASHING AT A MINIMUM DISTANCE OF 2 M BACK FROM THE INSIDE FACE OF THE PARAPET AROUND THE ENTIRE PERIMETER OF ROOF.



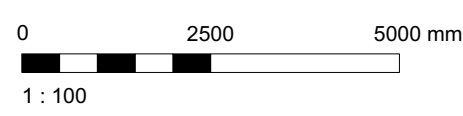
2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1	MAY 2019	1828 A100
Drawn by	FWP	Checked by CRK
Scale	SEE DRAWING	Project number 1828

NOTE: All dimensions are shown in millimeters.

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	dHKarchitects
<small>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810</small>
<small>Project Name</small> 2558 Quadra Street 2558 Quadra Street Victoria, BC	
<small>Project Name</small> Roof Plan	
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<small>Sheet No.</small> A203	<small>Sheet No.</small> 2

1
Roof Plan
Scale: 1:100





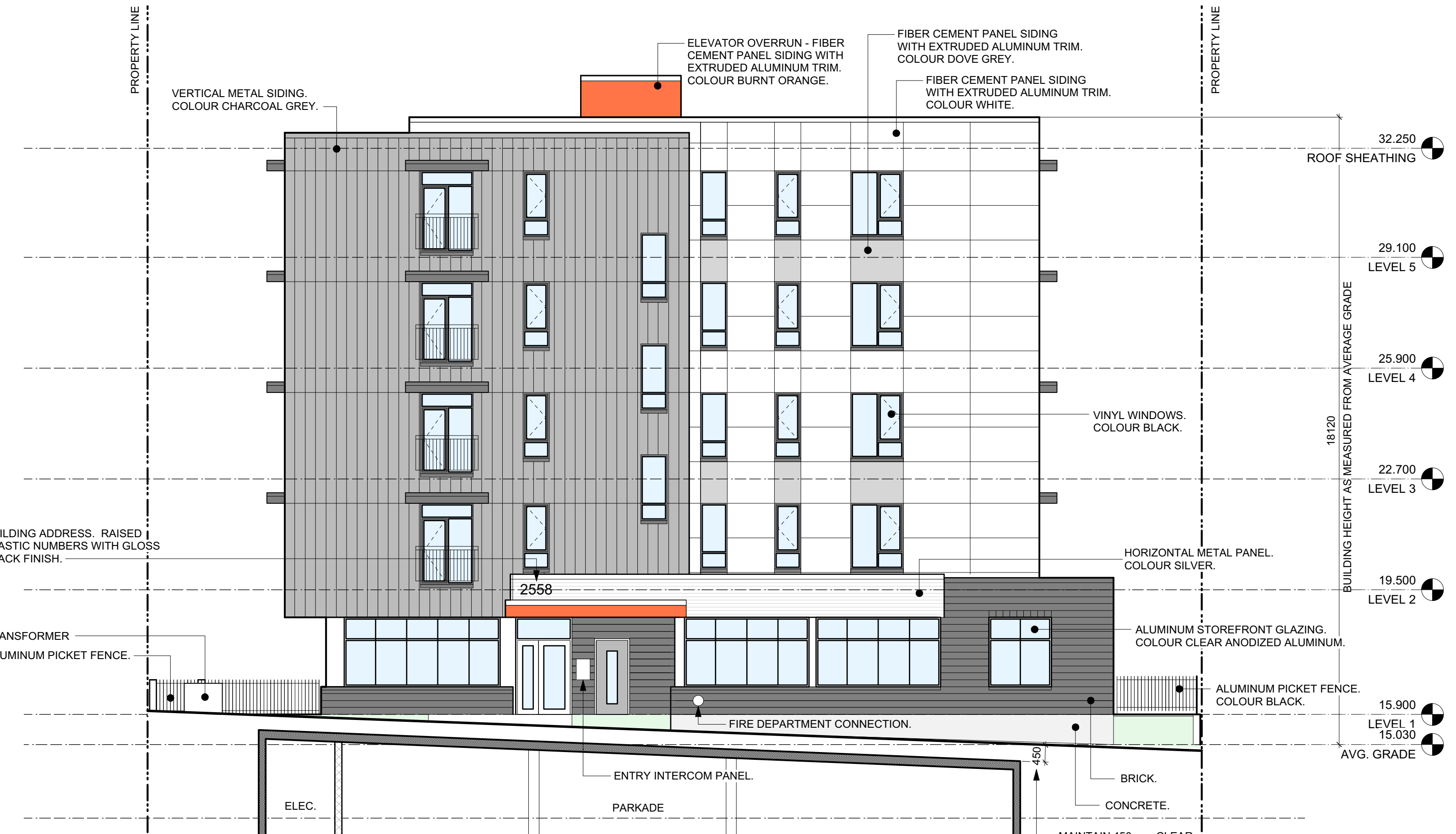
4 North Elevation
Scale: 1:100
0 2500 5000 mm
1:100



2 South Elevation
Scale: 1:100
0 2500 5000 mm
1:100



3 West Elevation
Scale: 1:100
0 2500 5000 mm
1:100



1 East Elevation
Scale: 1:100
0 2500 5000 mm
1:100

Rev	Date	Description
2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO ZONING REVIEW

Rev	Date	Drawn by	Checked by	Project No.	Sheet No.
1	MAY 2019	FWP	CRK	1828 A100	1828

NOTE: All dimensions are shown in millimeters.

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2558 Quadra Street
2558 Quadra Street
Victoria, BC

Exterior Elevations

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Sheet No. A301

Index No. 2



9 Aerial View from South East
A303



8 Aerial View from North East
A303



7 North West Corner
A303



6 South West Corner
A303



5 South East Corner
A303



4 North East Corner
A303



3 Alley Entry
A303



2 Quadra Street Entry
A303



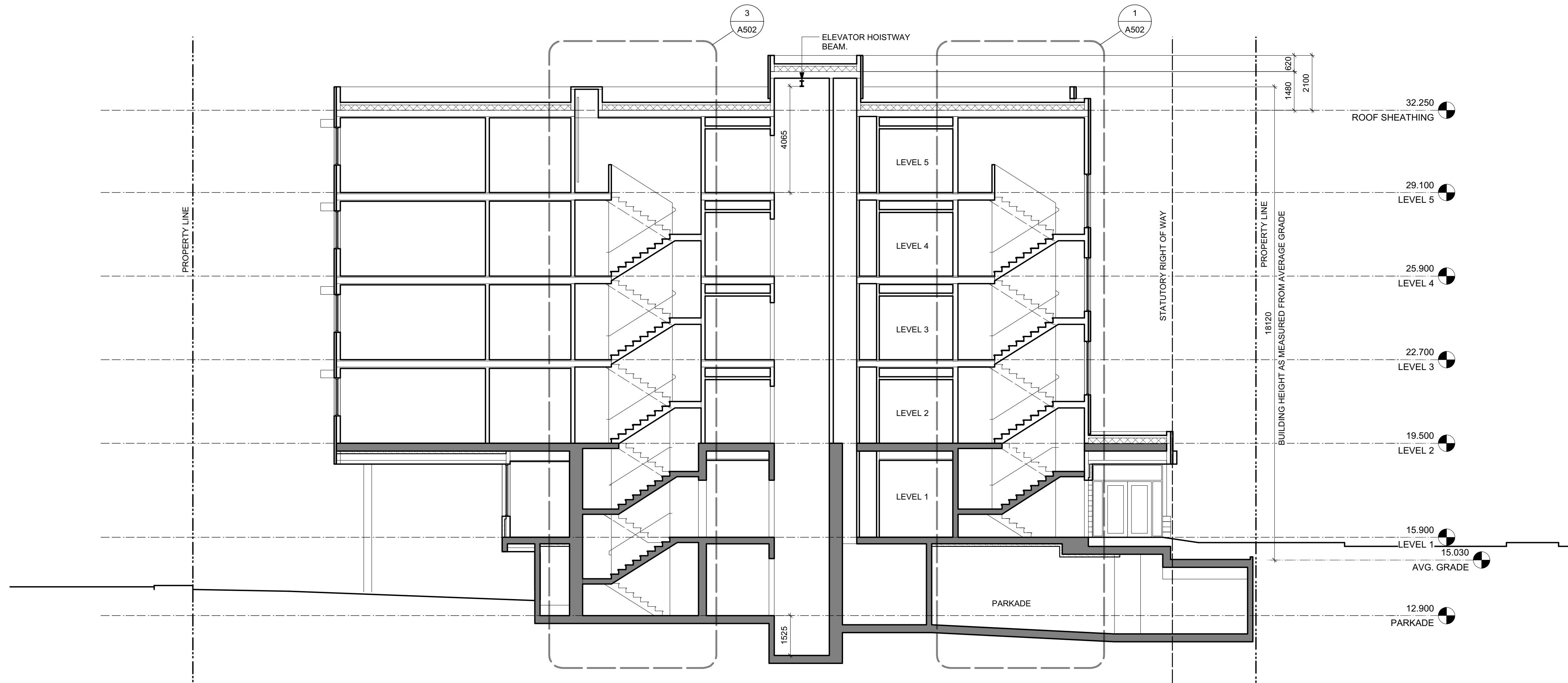
1 Quadra Street Entry
A303

2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO ZONING REVIEW
Rev	Date	Description
1	MAY 2019	FWP
2		1828 A100
Drawn by	FWP	Checked by
Scale	SEE DRAWING	project number
		1828

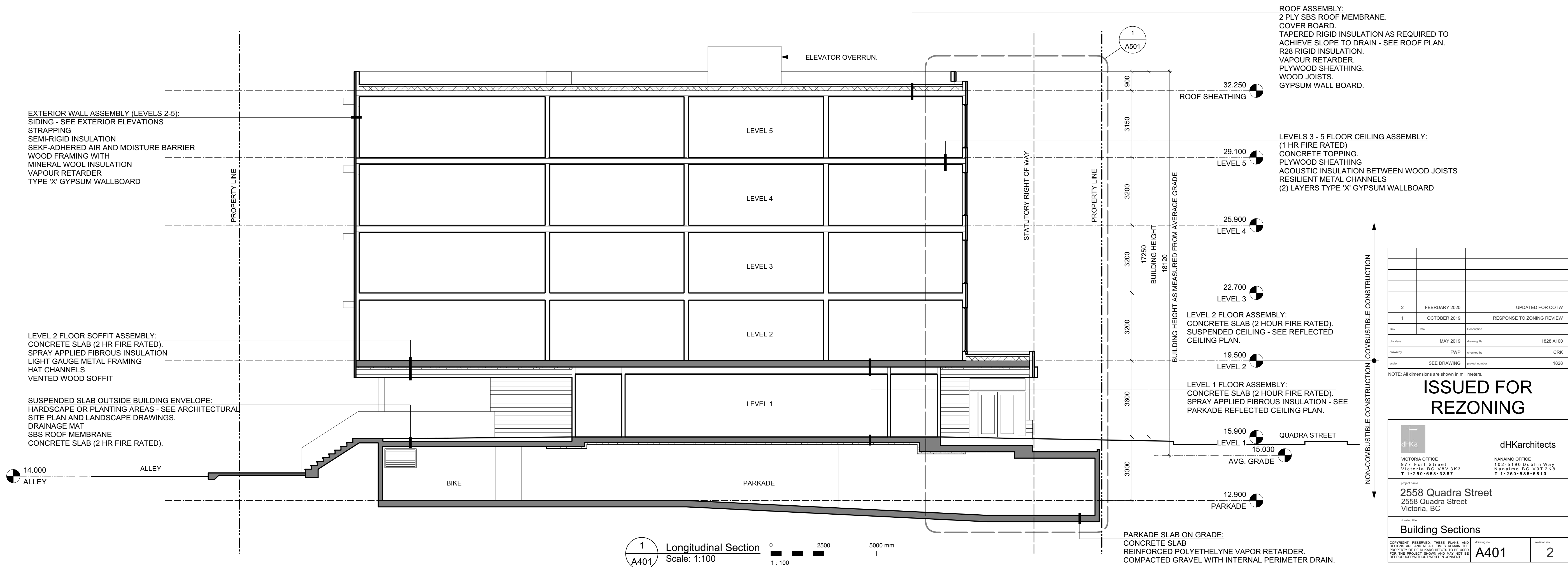
NOTE: All dimensions are shown in millimeters.

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project name	2558 Quadra Street 2558 Quadra Street Victoria, BC
Perspectives	
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	2



2 Longitudinal Section
A401 Scale: 1:100



1 Longitudinal Section
A401 Scale: 1:100

ROOF ASSEMBLY:
2 PLY SBS ROOF MEMBRANE.
COVER BOARD.
TAPERED RIGID INSULATION AS REQUIRED TO
ACHIEVE SLOPE TO DRAIN - SEE ROOF PLAN.
R28 RIGID INSULATION.
VAPOUR RETARDER.
PLYWOOD SHEATHING.
WOOD JOISTS.
GYPSUM WALL BOARD.

LEVELS 3 - 5 FLOOR CEILING ASSEMBLY:
(1 HR FIRE RATED)
CONCRETE TOPPING.
PLYWOOD SHEATHING
ACOUSTIC INSULATION BETWEEN WOOD JOISTS
RESILIENT METAL CHANNELS
(2) LAYERS TYPE 'X' GYPSUM WALLBOARD

LEVEL 2 FLOOR ASSEMBLY:
CONCRETE SLAB (2 HOUR FIRE RATED).
SUSPENDED CEILING - SEE REFLECTED
CEILING PLAN.

LEVEL 1 FLOOR ASSEMBLY:
CONCRETE SLAB (2 HOUR FIRE RATED).
SPRAY APPLIED FIBROUS INSULATION - SEE
PARKADE REFLECTED CEILING PLAN.

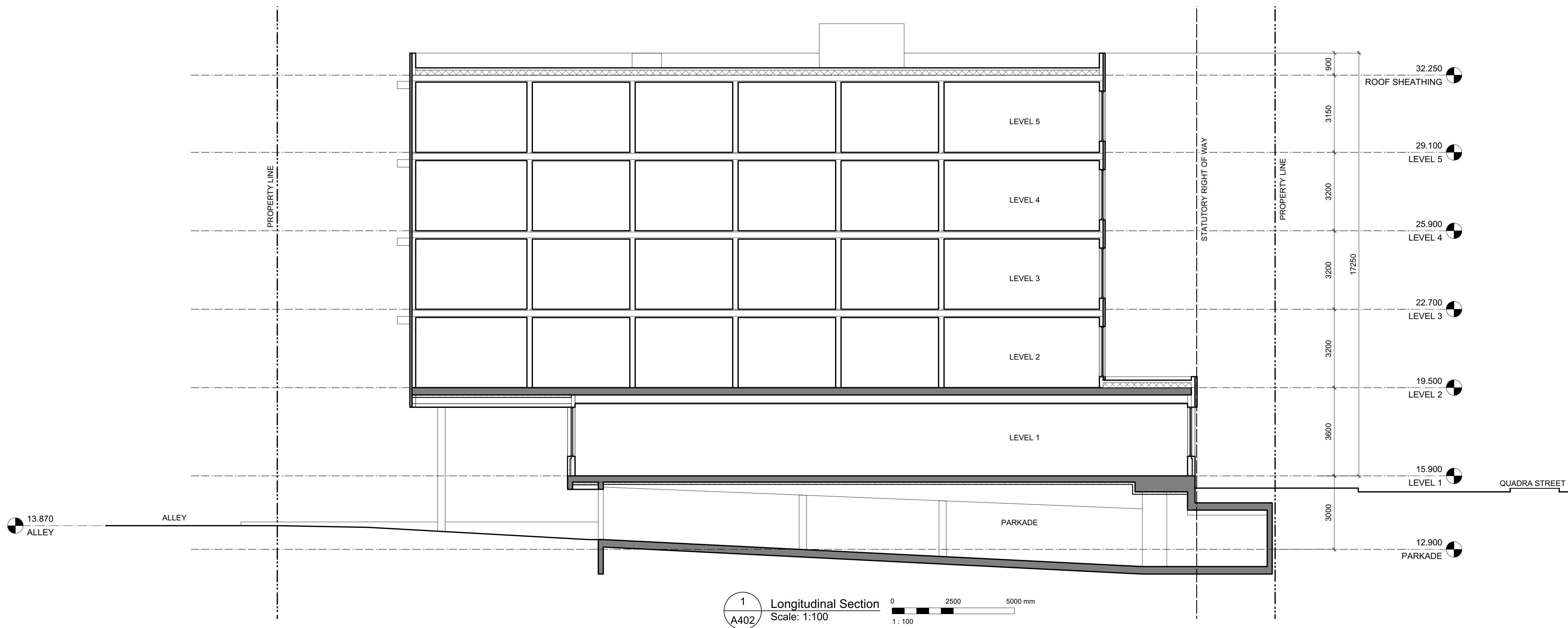
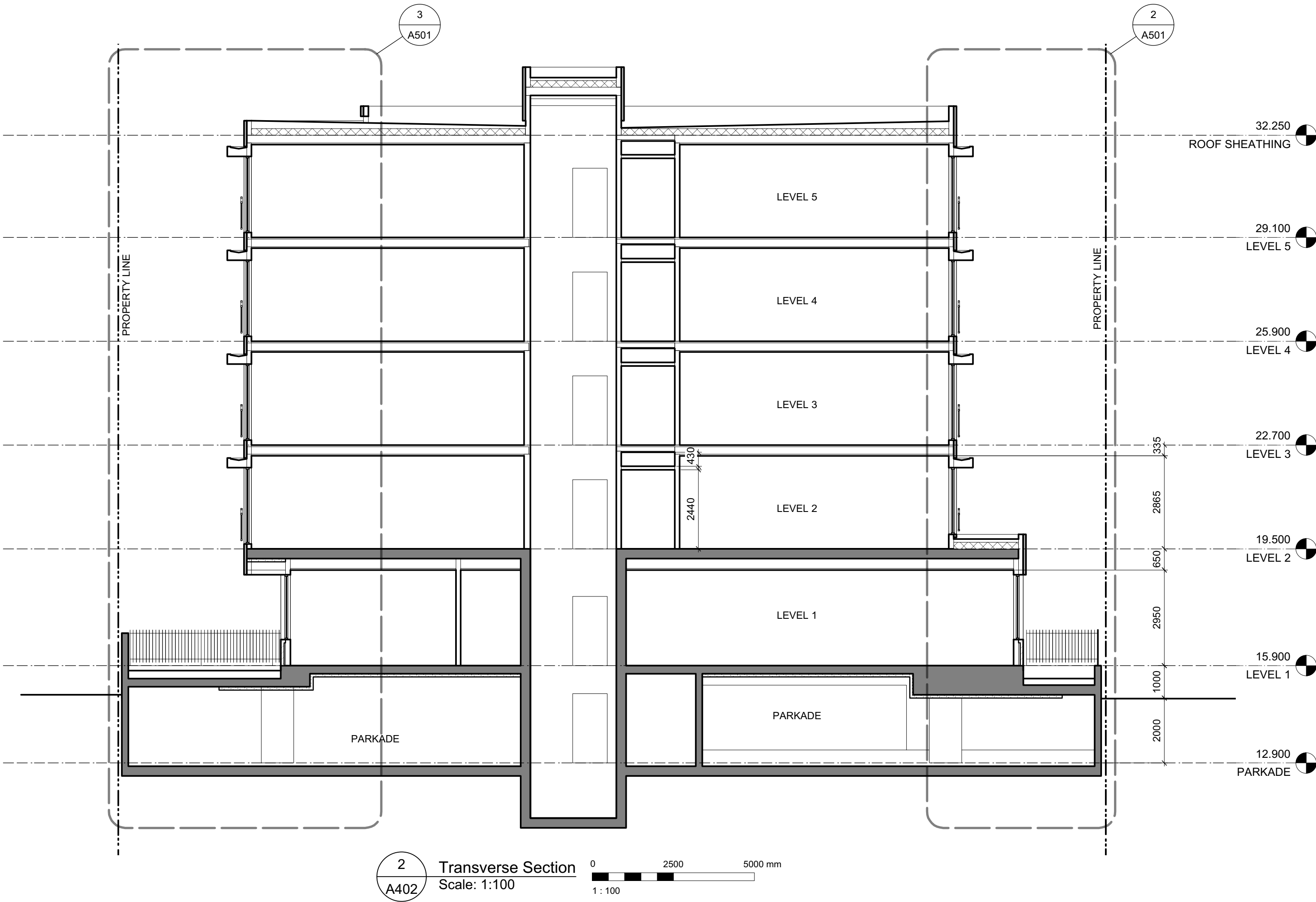
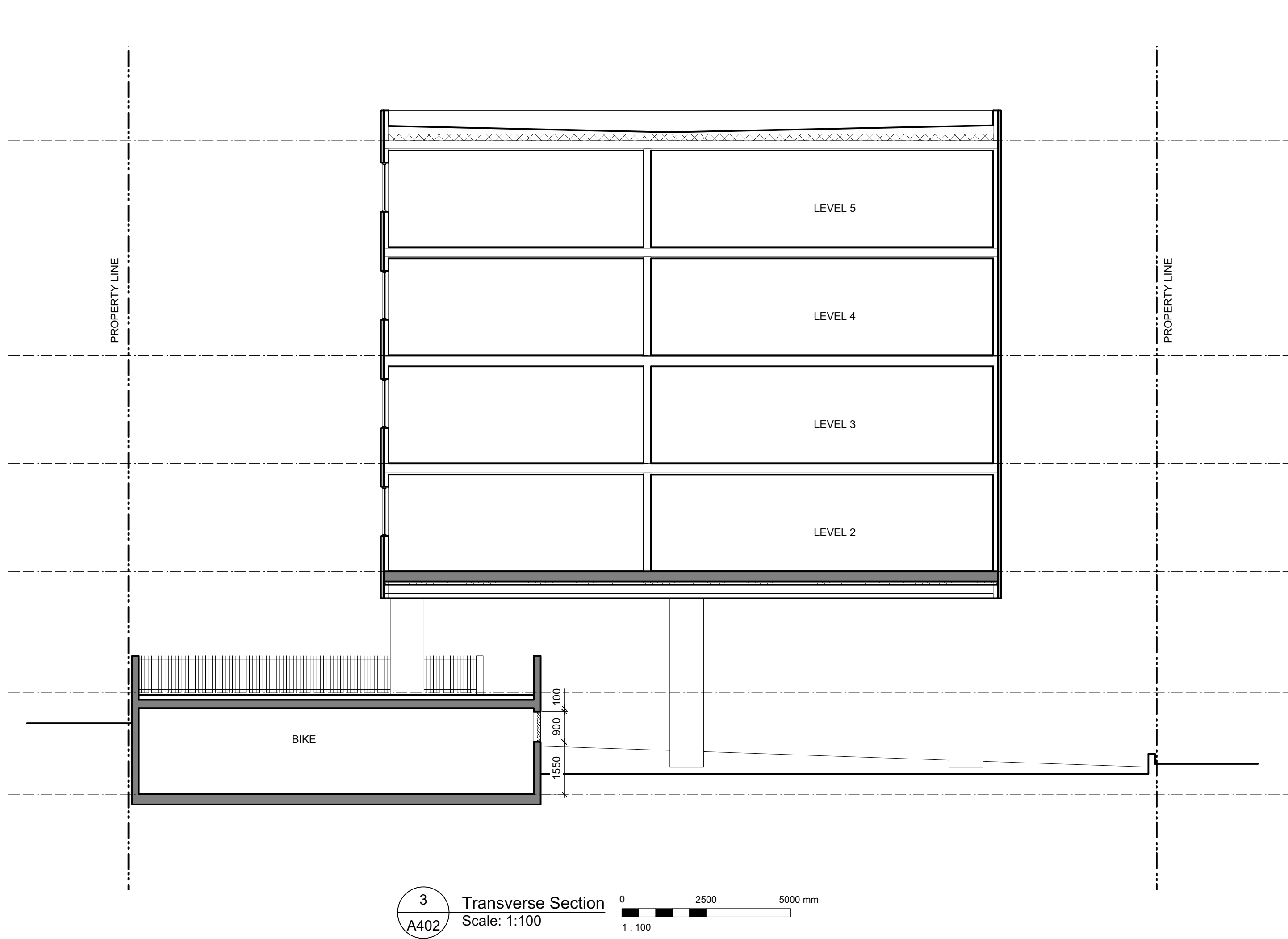
PARKADE SLAB ON GRADE:
CONCRETE SLAB
REINFORCED POLYETHYLENE VAPOR RETARDER.
COMPACTED GRAVEL WITH INTERNAL PERIMETER DRAIN.

2	FEBRUARY 2020	UPDATED FOR COTW
1	OCTOBER 2019	RESPONSE TO ZONING REVIEW
Rev	Date	Description
1	MAY 2019	1828 A100
Drawn by	FWP	checked by CRK
Scale	SEE DRAWING	project number 1828

NOTE: All dimensions are shown in millimeters.

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 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name 2558 Quadra Street 2558 Quadra Street Victoria, BC	
Building Sections	
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drawing no. A401	sheet no. 2



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Rev	Date	Description
print date	MAY 2019	drawing file 1828 A100
drawn by	FWP	checked by CRK
scale	SEE DRAWING	project number 1828

NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367



NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

project name
2558 Quadra Street
2558 Quadra Street
Victoria, BC

Building Sections

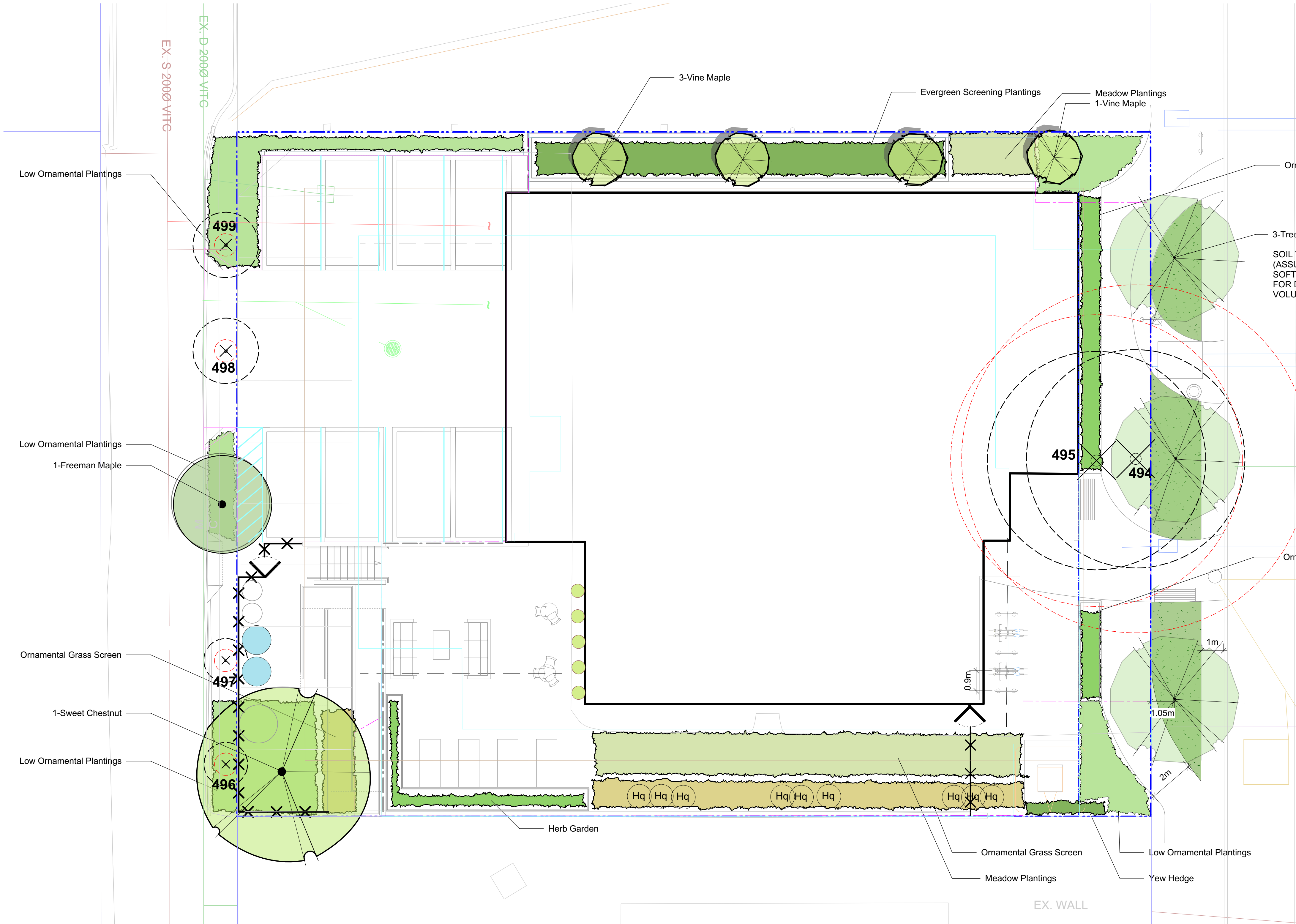
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drawing no.
A402

revision no.
2



\\18-136 2558 QUADRA STREET\10.0 DRAWINGS\18-136-REZONING.DWG 2/11/2020 11:34 AM A1



EXISTING TREE INVENTORY*

TOTAL TREES TO BE RETAINED: 0

REMOVED TREES

TREE TAG #	DBH (cm)	Bylaw Protected?	Species	Crown Spread (m)
494	103	yes	Western Red Cedar	10
495	85	yes	Western Red Cedar	10
496	8	no	Maple Spp.	2
497	7	no	Maple Spp.	2
498	8	no	Maple Spp.	3
499	7	no	Maple Spp.	3

TOTAL TREES TO BE REMOVED: 6

TOTAL BYLAW PROTECTED TREES TO BE REMOVED: 2

REPLACEMENT TREES

# Proposed	Species
1	Castanea sativa
3	Boulevard Trees, Species TBD

TOTAL REPLACEMENT TREES: 4

SEE PLANTING PLAN FOR A FULL LIST OF PROPOSED TREES.

* Based on Arborist's Report received from Talbot Mackenzie & Associates, dated Sept. 12, 2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.

BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Landscape within boulevard areas to be irrigated (unless otherwise indicated).
- Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Design and installation of boulevard irrigation system to meet current IABC and Municipal Specifications.
- Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.
- All Boulevard Trees to be inspected by C.O.V. Parks staff: upon delivery of stock; prior to backfilling to inspect planting depth; and upon completion.

PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
4		Acer circinatum	Vine Maple	1.5 m ht,
1		Acer x 'freemanii'	Freeman Maple	5.0cm cal, b&b
1		Castanea sativa	Sweet Chestnut	5.0cm cal, b&b
3		Tree Species by COV Parks		5.0 cm cal, b+b

SHRUBS/FERNS/GRASSES/VINES:

Cx	1	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Csk	41	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Hqa	9	Hydrangea quercifolia 'Amethyst'	Oak-Leaved Hydrangea	#5 pot
Lp	28	Lonicera pileata	Privet Honeysuckle	#2 pot
Ma	34	Mahonia aquifolium	Oregon Grape	#2 pot
Mn	25	Mahonia nervosa	Oregon Grape Holly	#1 pot 40cm o.c.
Msa	30	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Oi-1	9	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rs	20	Ribes sanguineum	Red Flowering Currant	#3 pot
Rof	5	Rosmarinus officinalis	Rosemary	#2 pot
Rp	44	Rubus pentalobus	Taiwan Creeping Rubus	Sp3 30cm o.c.
Sto	9	Salvia officinalis 'purpurascens'	Purple Sage	#1 pot
Tax	6	Taxus x media	Hybrid Yew	#5 pot
Vo	8	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot

MEADOW PERENNIALS:

Ami	138	Achillea millefolium 'red velvet'	Yarrow 'red velvet'	#1 pot
Atc	90	Achillea 'terra cotta'	Yarrow	#1 pot
Aa-1	22	Allium acuminatum	Purple chives	Sp3, 30cm o.c.
Sl-1	4	Artemisia schmidtiana 'silvermound'	Silvermound sagebrush	#1 pot
Cr1	35	Crocosmia 'lucifer'	crocosmia	#1 pot
Icr	22	Impatiens cylindrica 'Red Baron'	Japanese blood grass	#1 pot
Pht-1	6	Kniphofia 'Mango Popsicle'	Mango-coloured Red Hot Poker	#5 pot
Saj	22	Sedum 'Autumn Joy'	Autumn Stonecrop	#1 pot
Sm	49	Sedum 'Matrona'	Autumn Stonecrop	#1 pot
Ssc	33	Sedum spathulifolium 'Cape Blanco'	Cape Blanco Stonecrop	Sp3, 30cm o.c.
Sl-1-1	90	Stachys byzantina	Lamb's ears	#1 pot
St	57	Stipa tenuissima	Mexican Feathergrass	#1 pot

NOT FOR CONSTRUCTION



client
GVHS
2326 Government St.
Victoria, BC

project
GVHS @ 2558 Quadra
2558 Quadra St,
Victoria, BC

sheet title

Planting Plan

project no. 118.26

scale 1: 100 @ 24"x36"

drawn by TB

checked by SMPdG

revision no. sheet no.

3

L3.01