

ADDITIONAL PLANNING COMMENTS

Application No.: 7918-0235-00

Planning Report Date: September 27, 2021

PROPOSAL:

- **NCP Amendment** for changes to the Local road network
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**
- **Development Variance Permit**
- **Housing Agreement**

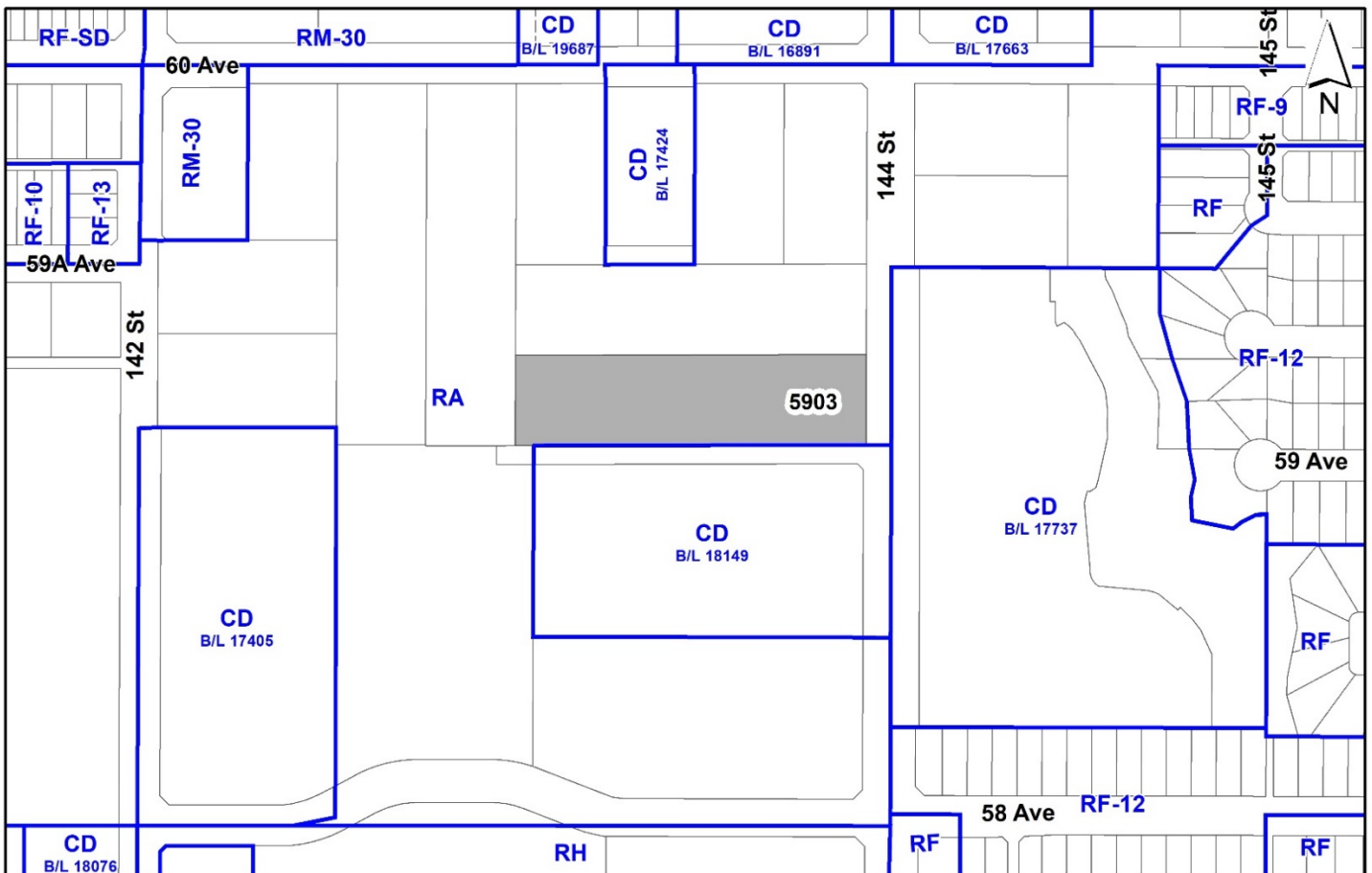
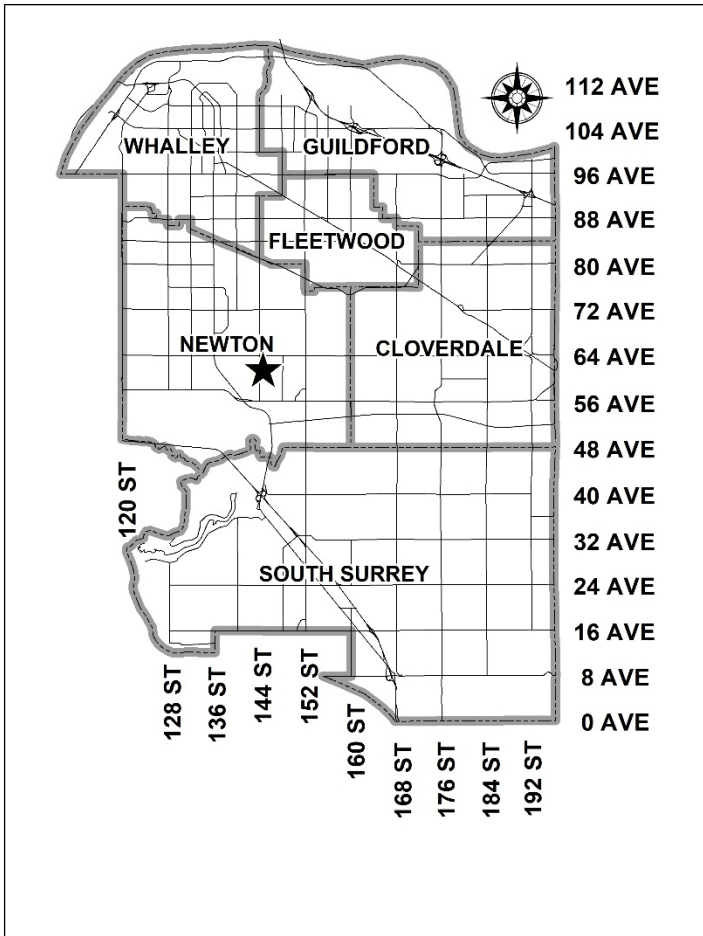
to permit the development of one 4-storey apartment building, one 4-storey mixed-use residential-commercial apartment building, and one 5-storey mixed-use residential-commercial rental apartment building with a non-market component.

LOCATION: 5903 - 144 Street

ZONING: RA

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: "Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"



RECOMMENDATION SUMMARY

- Council rescind Resolution No. R19-2095 granting Third Reading and Resolution No. R19-1964 giving Second Reading to Rezoning Bylaw No. 19993 at the December 2, 2019, Regular Council - Public Hearing meeting and the November 18, 2019, Regular Council – Land Use meeting, respectively.
- Council amend Rezoning Bylaw No. 19993 by amending Section D, Density, Section E, Lot Coverage, and Section G, Height of Buildings.
- Council consider Second Reading of Rezoning Bylaw No. 19993, as amended, and if granted, set a date for Public Hearing.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to draft amended Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) for changes to the Local road network.
- The applicant is proposing to reduce the required parking rate for the residential units.

RATIONALE OF RECOMMENDATION

- The Planning and Development Report for Development Application No. 7907-0127-00 was considered by Council at the Regular Council – Land Use Meeting on November 18, 2019. The NCP Amendment was supported by Council and the Rezoning Bylaw (CD Bylaw No. 19993) was granted Third Reading by Council at the Regular Council - Public Hearing meeting on December 2, 2019.
- The applicant has subsequently revised the proposal and is seeking an amendment to the proposed "Comprehensive Development Zone (CD) (Bylaw No. 19993)" in order to increase the proposed density, building height, and lot coverage.
- In order to facilitate the requested revisions, an amendment to "Comprehensive Development Zone (CD) (Bylaw No. 19993)" is required.
- An amendment to the draft Development Permit drawings is also proposed in order to accommodate changes to the floor plans and resulting exterior modifications. The proposed changes are generally reflective of the previous draft Detailed Development Permit drawings that were supported by Council on November 18, 2019.

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- The proposed changes include the increase in density and increase in building height to Building C, which is proposed to add an additional storey (5 storeys in total). The additional density and building height will facilitate the provision of 24 market rental and 29 non-market rental units for Building C which will be regulated by a Housing Agreement that guarantees the form and tenure of the 53 rental units proposed, for a period of twenty-five (25) years.
 - The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation in the Official Community Plan of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
 - The provision of community amenities is sufficient to allow the increase in density in accordance with the provisions of the Multiple Residential land use designation.
 - The building design, orientation, and material selection are of high quality and complementary to the other existing and approved buildings in the surrounding area.
 - The proposed street-fronting setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the public realm. The reduced setbacks are consistent with existing or recently approved applications in South Newton.
 - The proposed reduced parking rate is reflective of recent changes to the Zoning Bylaw that were brought forward at the June 14, 2021, Regular Council – Public Hearing meeting under Corporate Report R115. The proposed changes have not been formally adopted into the Zoning Bylaw and therefore, the proposed reduced parking rate for the residential units in the subject application requires a Development Variance Permit.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council rescind Resolution No. R19-2095 granting Third Reading of Rezoning By-law No. 19993 at the December 2, 2019, Regular Council – Public Hearing meeting.
2. Council rescind Resolution No. R19-1964 granting Second Reading to Rezoning Bylaw No. 19993 at the November 18, 2019, Regular Council – Land Use meeting.
3. Council amend By-law No. 19993 to incorporate the following revised density, height, lot coverage, land use, and DCC By-law provisions:
 - (a) Maximum floor area ratio amended from 1.50 to 1.74;
 - (b) Maximum building height amended from 14.6 metres to 18.9 metres;
 - (c) Maximum lot coverage increased from 45% to 48%;
 - (d) Inclusion of small-scale drug store as a permitted use; and
 - (e) Amend the Development Cost Charge (DCC) By-law referenced to the most recent DCC By-law, 2020, No. 20129.
4. Council approve Development Variance Permit No. 7918-0235-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) The parking rate for the residential units is reduced for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling unit with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.
5. Council consider Second Reading of Comprehensive Development Zone (CD) (Bylaw No. 19993), as amended, and if granted, set a date for Public Hearing.
6. Council authorize staff to draft the amended Development Permit No. 7918-0235-00 generally in accordance with the attached drawings (Appendix I).
7. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
8. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;

- (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) the applicant enter into a Housing Agreement with the City to restrict all 53 dwelling units in Building C on the subject site to rental housing, 29 of which are to be restricted to affordable rental units, for a period of 25 years;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions, to the satisfaction of the General Manager, Planning & Development Services; and
 - (l) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all deferred financial contributions for Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions for the development should the project be converted from rental and affordable rental housing to market units at any point in the future, after expiry of the Housing Agreement.
9. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Residential acreage lot with an existing house that is to be demolished	"Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"	RA

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single Family Residential (Currently being reviewed under Development Application No. 7918-0081-00 to allow for two 4 storey mixed-use commercial / residential building which is pre-Council)	Apartments (45 upa max), Mixed Commercial-Residential (Apartments), and Proposed Parks & Walkways	RA
East (Across 144 St.):	Multiple Family Residential	Townhouses (20 upa max)	CD (Bylaw No. 17737)
South:	City owned park with private tennis facilities	Existing & Future Parks	CD (Bylaw No. 18149)
West:	Single Family Residential (Development Application No. 7917-0069-00 to permit 39 townhouses received Third Reading on April 15, 2019).	Townhouses (15 upa max), Proposed Parks and Walkways	RA

Context & Background

- The subject development application was considered by Council at the Regular Council – Land Use meeting on November 18, 2019, where First and Second readings were granted to the proposed Rezoning Bylaw (No. 19993).
- At the December 2, Regular Council – Public Hearing meeting, Council granted Third Reading to Comprehensive Development Zone (CD) (Bylaw No. 19993) (Resolution No. R19-2095).
- The applicant has subsequently revised the proposal and is seeking amendments to the Rezoning Bylaw (No. 19993) to increase the proposed density, the maximum building height, and the maximum lot coverage; and to the draft Development Permit drawings in order to accommodate changes to the floor plans and resulting exterior modifications. The proposed changes are generally reflective of the previous draft Detailed Development Permit drawings that were supported by Council on November 18, 2019.

DEVELOPMENT PROPOSAL

Planning Considerations

- The revised proposal includes an NCP Amendment for changes to the local road network and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a Form and Character Development Permit to facilitate the development of one four-storey residential apartment building, one four-storey mixed-use commercial-residential apartment building, and one five-storey mixed-use commercial residential apartment building that contains 100% rental units with an affordable housing component.

- The proposed development consists of 144 residential dwelling units, 860 square metres of commercial space, which includes approximately 10 commercial/retail units, and a 445 square daycare facility.
- The original proposal that was granted Third Reading at the December 2, 2019, Regular Council – Public Hearing meeting proposed a net density of 1.50 with all residential units provided as market condos. The new proposal adds an additional 1,971 square metres of residential floor area to Building C and instead allocates the entirety of the 53 units in Building C as rental, 29 of which will be offered as affordable rental units. The affordable rental units will be offered at 20% below market rates. The average market rent rate is determined from time to time by the owner.
- The proposed increase in density from 1.5 FAR to 1.74 FAR is considered reasonable given that the increase in density will support the provision of both market rental and affordable rental units which are a community benefit.
- The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation in the Official Community Plan of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
- The provision of community amenities is sufficient to allow the increase in density in accordance with the provisions of the Multiple Residential land use designation.
- The proposed use, density and building massing are appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands on the southwest corner of 60 Avenue and 144 Street intersection.

	Proposed
Lot Area	
Gross Site Area:	9,187 square metres
Road Dedication:	2,342 square metres
Undevelopable Area:	n/a
Net Site Area:	6,845 square metres
Number of Lots:	1
Building Height:	Building A: 14.9 metres Building B: 14.8 metres Building C: 18.9 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	1.74
Floor Area	
Residential:	11,279 square metres
Commercial:	860 square metres
Daycare:	445 square metres
Total:	12,584 square metres

Proposed	
Residential Units:	
Studio:	0
1-Bedroom/1-Bedroom + Den:	76
2-Bedroom/2-Bedroom + Den:	66
3-Bedroom:	2
Total:	144

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 56 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

- 22 Elementary students at Goldstone Park Elementary School
- 23 Secondary students at Sullivan Heights School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

Surrey Fire Department: No concerns.

Advisory Design Panel: The revised proposal was not referred to the ADP due to the relatively minor revisions to the overall proposal, but was reviewed by staff, including the City Architect, and found satisfactory.

The revised proposal maintains a similar character to the original proposal that was previously supported by the ADP when this project was presented on August 8, 2019.

The previous proposal was considered at the ADP meeting on August 8, 2019. The comments received were primarily related to site, form and character, landscaping, sustainability, and accessibility. The applicant has resolved the outstanding items from the ADP review to the satisfaction of the City Architect.

Transportation Considerations

- The Engineering Department – Transportation Division requested the amendment to the local road network as part of Development Application No. 7917-0069-00 (west of the subject site) by extending 143 Street through to the south property line, in place of the "Proposed Parks and Walkways" strip shown in the NCP. 143 Street will be constructed to a local standard with sidewalks and street trees, which will meet the intent of the walkway by providing a desirable pedestrian connection. The proposed amendment is intended to improve the local road network by improving street connectivity.
- The proposed reduced parking rate is reflective of recent changes to the Zoning Bylaw that were brought forward at the June 14, 2021, Regular Council – Public Hearing meeting under Corporate Report R115. The proposed changes have not been formally adopted into the Zoning Bylaw and therefore, the proposed reduced parking rate for the residential units in the subject application requires a Development Variance Permit.
- The parking for the commercial/daycare floor space within Building B and C conform to the minimum parking requirements in the Zoning Bylaw.

Housing Agreement

- The proposed Housing Agreement will regulate the 53 dwelling units in the proposed 5-storey mixed-use rental apartment building (Building C).
- Section 483 of the *Local Government Act* authorizes Local Governments to enter into Housing Agreements for rental and affordable housing.
- Typically, Housing Agreements include the terms and conditions agreed to by the Local Government and the owner regarding:
 - The form and tenure of the housing units;
 - The occupancy of the housing units identified in the agreement (including their form of tenure and their availability to the classes of persons identified in the agreement);

- The administration of the units (including the means by which the units will be made available to intended occupants); and
- The rents and lease prices of units that may be charged and the rates at which these can be increased over time.
- The attached Housing Agreement (Appendix VI) will be adopted by Bylaw and registered on title of the property. The agreement will restrict 29 of the proposed 53 units within Building C to affordable rental units and the remaining 24 units will be restricted to market rental, for a period of twenty-five (25) years.
- The affordable rental units will be offered at 20% below market rates. The average market rent rate is determined from time to time by the owner.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with the issuance of the Development Permit, once all the outstanding conditions associated with the application are fulfilled.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

- The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
- The provision of community amenities is sufficient to allow the increase in density and therefore, no Official Community Plan Amendment is required.

CD By-law Amendment

- The applicant is proposing to amend "Comprehensive Development Zone (CD Bylaw No. 19993)" to accommodate one 4-storey residential apartment building, one 4-storey mixed commercial-residential apartment building, and one 5-storey mixed commercial-residential rental apartment building that contains 100% rental units with an affordable housing component on the subject site. The amended CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Neighbourhood Commercial Zone (C-5)".

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	C-5 Zone (Part 35)	Proposed CD Zone
Floor Area Ratio:	1.50	0.50	1.74
Lot Coverage:	33%	50%	48%
Yards and Setbacks (principal buildings)	7.5 m to all lot lines		North: 3.7 m East: 4.0 m South: 4.3 m West: 4.6 m
Principal Building Height:	50 m	9.0 m	18.9 m
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings • Ground-oriented multiple unit residential buildings • Child care centres 	<ul style="list-style-type: none"> • Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone) 	<ul style="list-style-type: none"> • Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium. • The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres and the childcare facility to a maximum floor area of 445 square metres • CD Bylaw also adds "small-scale drug store" as a permitted used.

Amenity Space			
Indoor Amenity:	432 square metres	432 square metres	The proposed 440.5 m ² + 216 m ² of daycare space meets the Zoning By-law requirement.
Outdoor Amenity:	432 square metres	432 square metres	The proposed 447m ² meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial (Commercial-Retail Units/Daycare):		45	45
Residential:		185	194
Residential Visitor:		23	23
Total:		253	262
Bicycle Spaces			
Residential Secure Parking:		173	176
Residential Visitor:		18	18

- The proposed amendments to CD Bylaw (No. 19993) include an increase to the permitted floor area from 1.50 to 1.74, an increase in building height from 14.6 metres to 18.9 metres, and an increase in lot coverage from 45% to 48%. The increase in density above 1.50 is needed to achieve the additional affordable rental units in Building C.
- The proposed CD Bylaw reduces the building setbacks along all lot lines. The proposed setbacks for the mixed-use buildings encourages a more urban streetscape consistent with similar developments in the City.
- The RM-70 has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 48% lot coverage that is proposed is appropriate for the 4 and 5-storey buildings.
- The proposed height of 18.9 is less than the maximum building height of 50 metres of the RM-70 Zone.
- The proposed CD Bylaw will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD Bylaw will also restrict eating establishment to a maximum floor area of 150 square metres, and a childcare facility to a maximum floor area of 445 square metres in order to ensure that the parking requirements in the Zoning Bylaw can be met.
- In addition, the applicant proposes to add small-scale drug store as a permitted use. The CD Bylaw will restrict the small-scale drug store with the following provisions:
 - The small-scale drug store shall not exceed a total gross floor area of 372 square metres;
 - The small-scale drug store is an accessory use only to offices of medical doctors;

- There is not more than one small-scale drug store on the lot; and
- The small-scale drug store is contained in the same principal building as the medical doctors' offices.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development, other than the proposed rental units, will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the provisions of the sites OCP designation and the South Newton Neighbourhood Concept Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- 53 of the proposed 144 units are proposed as purpose-built rental and will not be subject to the Affordable Housing Strategy contribution.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- Since 53 of the proposed 144 units are proposed as purpose-built rental, only a portion of the proposal (all of Building A and Building B) will be subject to the Public Art contribution.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent again on September 10, 2021, and the Development Proposal Sign was installed on September 13. Staff did not receive any additional feedback.
- Pre-notification letters were originally sent out on August 18, 2019, and the Development Proposal Sign was originally installed on March 13, 2019. At that time, staff received one response from a neighbouring resident (see Appendix IX) for Previous Planning Report No. 7918-0235-00).

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The buildings are organized on the site to make pedestrian linkages safe and interesting while accommodating convenient parking for the proposed retail units within Buildings B and C.
- The frontages of the mixed-use buildings will consist of approximately 10 ground floor commercial retail units (CRU) oriented towards 144 Street and the future 59 Avenue. The CRUs are anticipated to range in size from 50 square metres to 257 square metres. The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application.
- The proposed residential dwelling units range from 52 square metres for a 1-bedroom unit to 102 square metres for a three-bedroom unit and are comprised of 76 1-bedroom/1-bedroom plus den units, 66 2-bedroom/2-bedroom plus den units, and 2 3-bedroom plus den units.
- All three buildings share similar character traits but are expressed differently to reflect its programming and context. The westernmost residential-only building carries a strong 2-storey emphasis at grade, sympathetic to a townhouse expression of details and scale. The middle and easternmost mixed-use buildings' ground floor commercial is visually connected to the street with ample transparency, while the residential storeys above are pronounced with a deeper modularity of solid walls and fenestration. The overall expression is consistent with other existing and approved development applications in South Newton.
- The buildings have a modest form with a modulated arrangement of window bays and recessed balconies, delineated through alternating materials to create visual interest with smaller building proportions. The buildings are capped with a flat roof with varying parapet heights to highlight the window bays.

- The uppermost storey added to Building C is stepped back significantly from the floor below (approximately 4 metres) along both street frontages. The building massing therefore maintains the appearance of a four-storey building from the street as the uppermost storey is set back from view.
- The primary building materials include fibre-cement and aluminum panels in neutral colours. High quality brick veneer accent is featured in the proposal. The commercial retail unit fronts are comprised of store-front glazing, accented and divided with brick veneer pilasters for a substantial and durable appearance.

Landscaping

- The landscape plan proposes a total of 75 trees to be planted throughout the subject site including coniferous and deciduous trees.
- A significant number of shrubs and ground cover species are proposed throughout the subject site.
- The 144 Street and 59 Avenue commercial frontages will have a split sidewalk design, comprised of alternating in-ground tree planters with shrubs and paving walk-throughs, equal width to the planters.
- A corner plaza is located at the future intersection of 59 Avenue and 143 Street and provides benches for seating and in-ground planters. The character of the plaza will comply with the public realm guidelines for South Newton.
- The applicant is proposing a 1.5 metre landscape buffer along the entire length of the north property line, which will consist of a pedestrian mews comprised of a 1.5 metre-wide walkway located on the property line. The adjacent development application to the north (Development Application No. 7918-0081-00 which is currently pre-Council) will coordinate with the subject development and provide an additional 1.5 metre-wide landscape buffer along the entire length of their south property line. Once both applications are complete, a combined 6 metre pedestrian mews and landscape buffer will be provided between both sites.

Indoor Amenity

- The required indoor amenity space is 432 square metres, while the applicant is proposing to provide 440.5 square metres on site, along with 445 square metres of child care space. The Zoning Bylaw permits 1.5 square metres per dwelling unit of child care space being provided to be counted toward the indoor amenity space requirement. As the applicant proposes 144 dwelling units, this results in 216 square metres of floor area that can be counted towards the indoor amenity space requirement. Together, the allowable child care space and the indoor amenity space in each building results in a total of 656 square metres, which meets the minimum requirement.

- Each of the three buildings is proposed to have a central indoor amenity room on the ground floor with space facing an external courtyard. Each of the indoor amenity spaces includes a sitting area, kitchen, and entertainment area with extra room for additional programming.

Outdoor Amenity

- The required outdoor amenity space is 432 square metres, while the applicant is proposing to provide 447 square metres, which meets the Zoning Bylaw requirement for outdoor amenity space.
- Buildings A and B will share an outdoor amenity space at the rear (north side) of Building B.
- The outdoor amenity area shared between residents of Building A and B includes the following elements:
 - Children's nature play area with rubber tile surface and boulders;
 - Ping pong table; and
 - Multiple seating options.
- The outdoor amenity area for Building C is also located at the rear (north side) of the building. The outdoor amenity area for Building C includes the following elements:
 - Lounge area;
 - BBQ; and
 - Raised garden planters and a potting table.
- Between Buildings B and C, there is a central plaza area that is hardscaped with saw-cut concrete pavers, as it will function as pick-up and drop-off area, as well as an area for the commercial retail units to spill-out onto.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include clarification on building finishes, exterior lighting and signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

CONCLUSION

The revised proposal maintains the same character that was supported by Council at the December 2, 2019, Regular Council – Public Hearing meeting. The addition of a fifth storey to the eastern-most building fronting 144 Street and 59 Avenue (Building C) results in an increase in floor area ratio for the site from the previously supported 1.5 FAR to 1.74 FAR being proposed. The additional storey and increase in FAR is considered supportable under the Multiple Residential land use designation in the OCP given that Building C is now proposed as a rental building with 29 out of 53 units being reserved as "non-market" rental with rates 20% below market rental rates.

The provision of rental units, a significant proportion of which are "non-market" rental, is considered sufficient community benefit to allow for the increase in density under the Multiple Residential land use designation. Therefore, staff support the proposed amendment to the CD Bylaw (No. 19993) and to the proposed design changes.

INFORMATION ATTACHED TO THIS REPORT

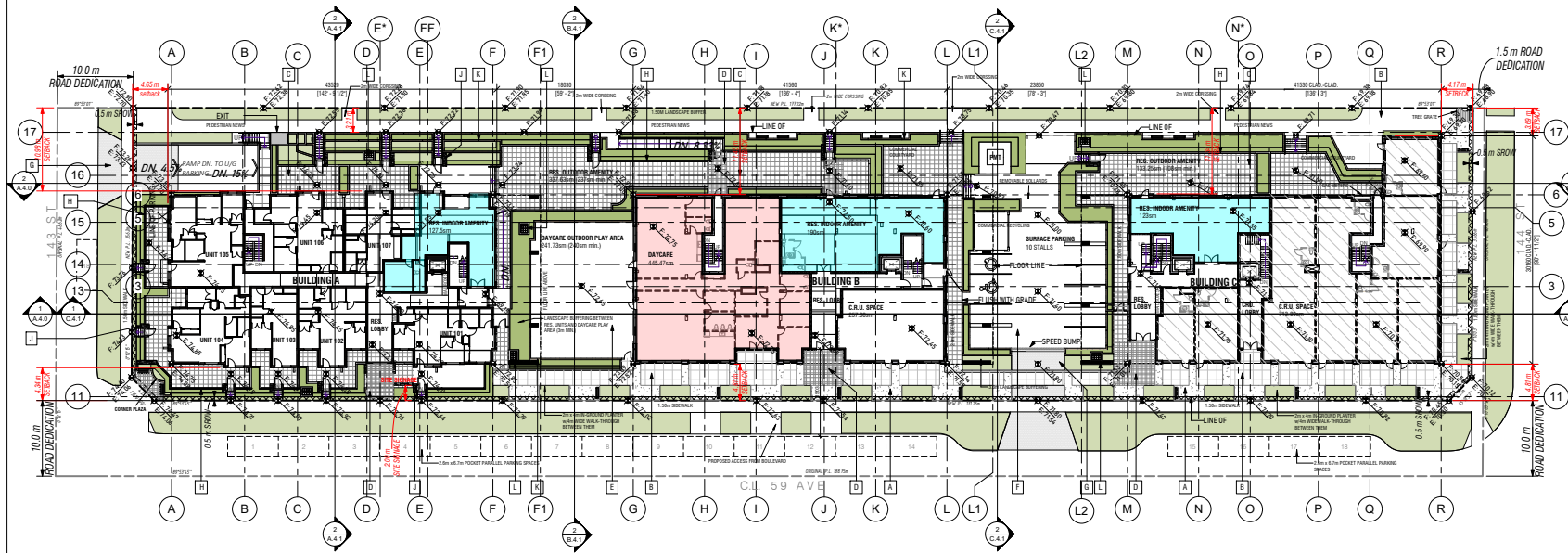
The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	NCP Plan
Appendix VI.	Proposed Housing Agreement
Appendix VII.	Amended CD Bylaw (No. 19993)
Appendix VIII.	Development Variance Permit No. 7918-0235-00
Appendix IX.	Initial Planning Report No. 7918-0235-00, dated November 18, 2019

approved by Shawn Low

Remi Dube
Acting General Manager
Planning and Development

KS/cm



PROJECT INFO:
SULLIVAN STATION MIXED USE
CLIENT:
5903 144 STREET

SITE PLAN
SCALE: 1:256



LEGEND

- A [Pattern] EXPOSED AGGREGATE
- B [Pattern] SAW-CUT CONCRETE
- C [Pattern] CONCRETE PAVERS
- D [Pattern] SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E [Pattern] RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F [Pattern] CONCRETE SLAB FOR SURFACE PARKING
- G [Pattern] CONCRETE WALL FLUSH WITH GRADE
- H [Pattern] CONCRETE WALL FLUSH WITH GRADE
- I [Pattern] CONCRETE WALL FLUSH WITH GRADE
- J [Pattern] ZENWALL CONCRETE BLOCK WALL
- K [Pattern] DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L [Symbol] PARKING VENT GRATING AT GRADE 1.2m x 0.9m

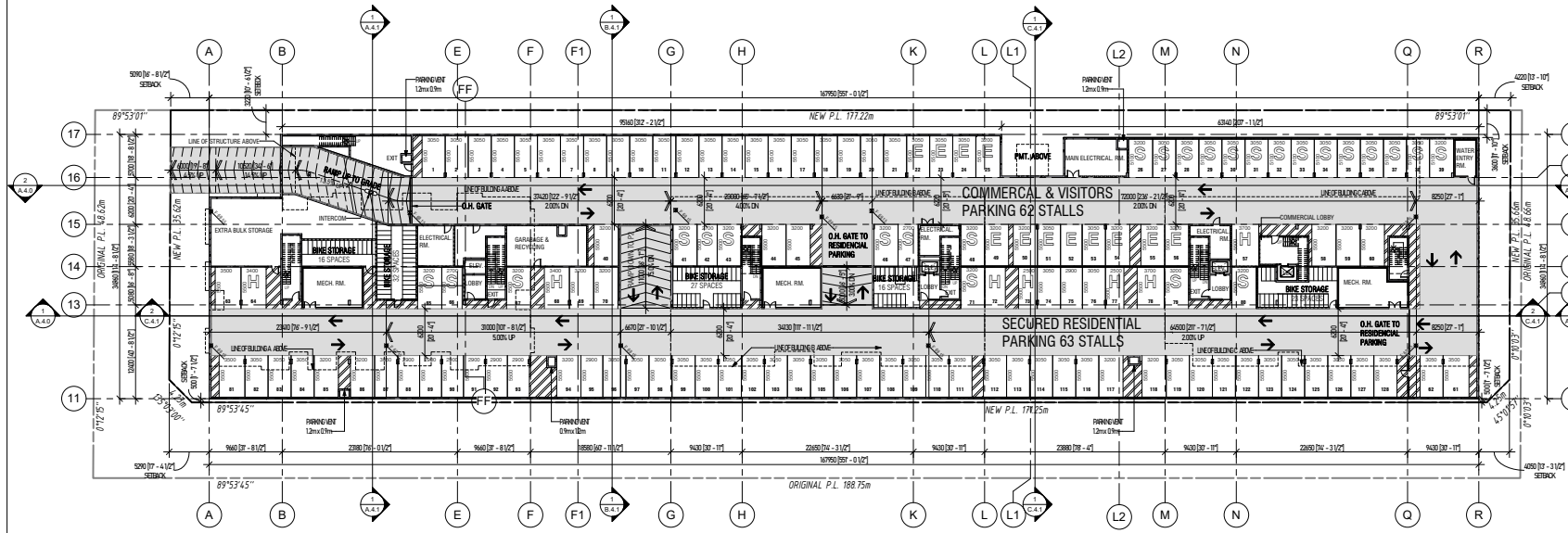
AMENITY AREA

- [Color] RESIDENTIAL AMENITY AREA
- [Color] DAY CARE AMENITY

NO.	DESCRIPTION	DATE	BY

DATE	18/07/21
PROJECT NO.	20-245
DRAWN BY	AJ
CHECKED BY	
SCALE	1:250
REV NO.	





P1 PARKING PLAN
 SCALE: 1:250



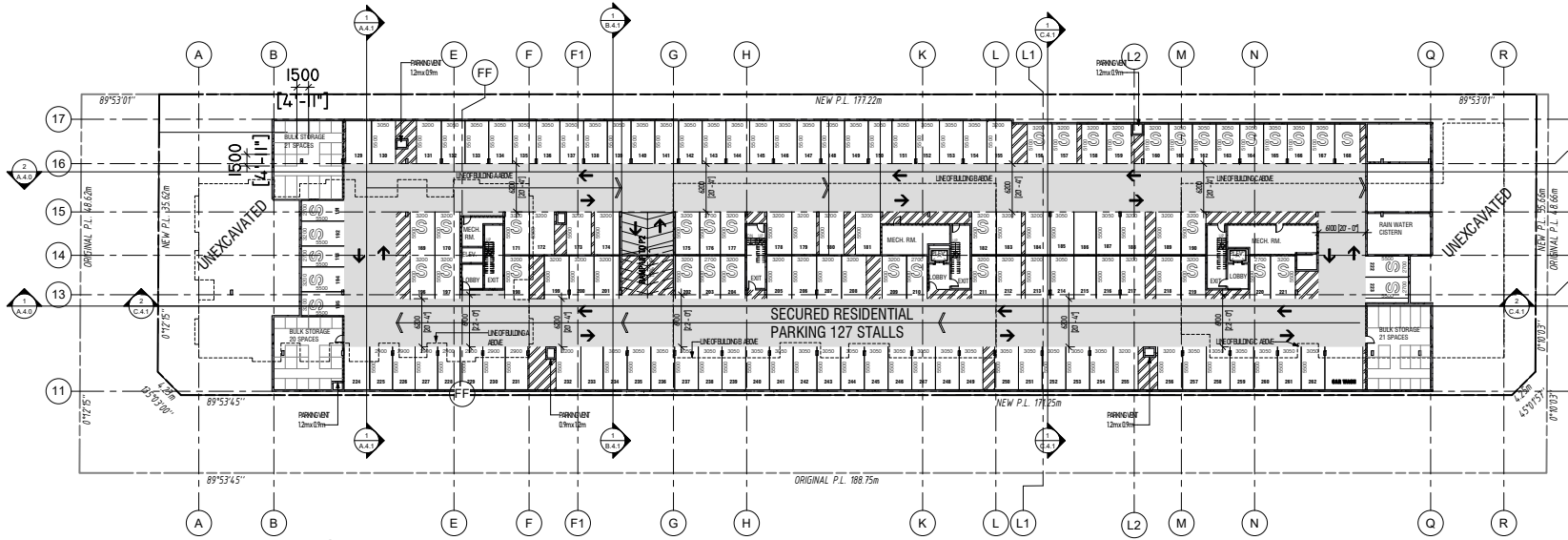
PROJECT INFO:
 SULLIVAN STATION MIXED USE

CLIENT:
 5903 144 STREET

NO.	REVISION/DATE	BY	DATE

DATE	08/07/21
PROJECT NO.	20-245
DRAWN BY	AJ
CHECKED BY	
SCALE	1:250
PROJECT NAME	P1 PARKING PLAN
REV NO.	REV NO.





P2 PARKING PLAN
SCALE: 1:250



PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

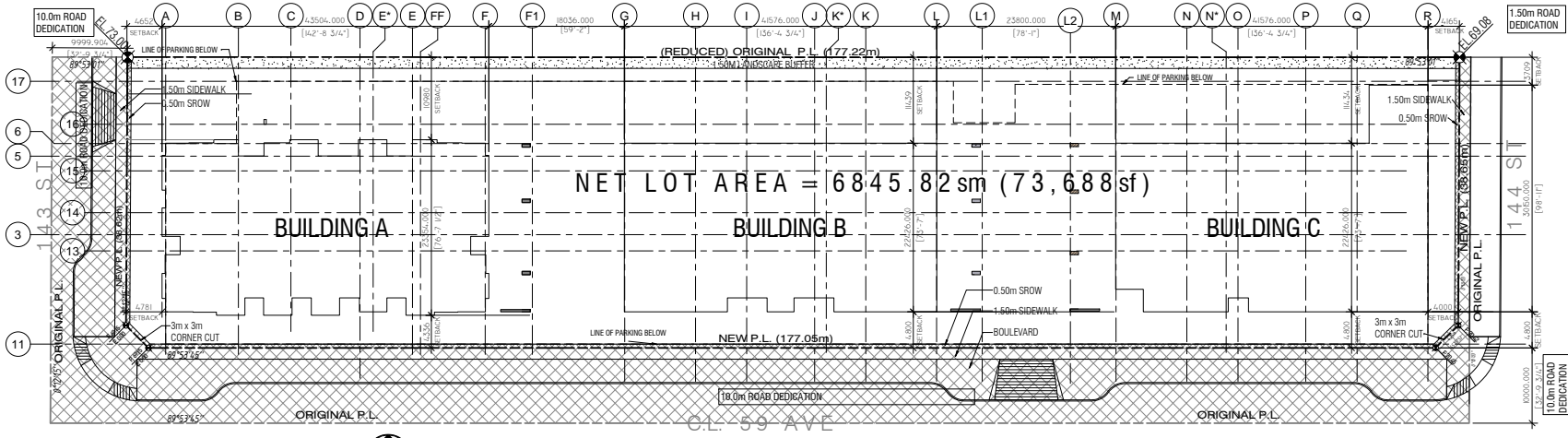
DATE:
02/20/21
PROJECT NO:
20-245
DRAWN BY:
Author
CHECKED BY:

P2 PARKING PLAN
REV NO:
REV NO:

SCALE:
1:250

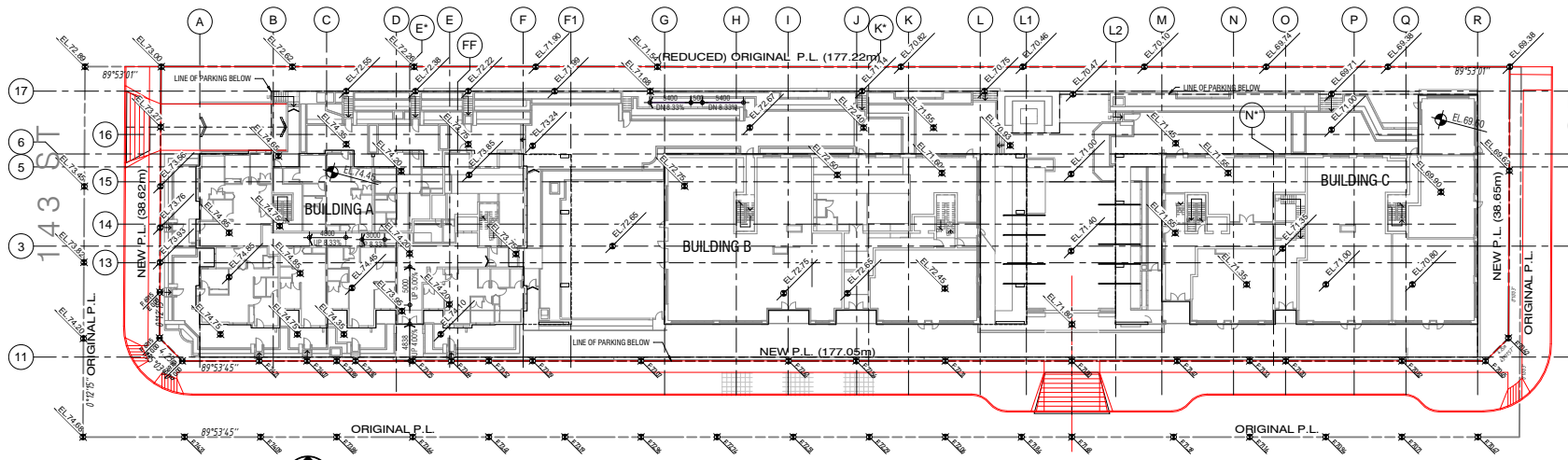
NO.	DESCRIPTION	DATE
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2	REVISED FOR THIRD REVISION	06/07/21
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4	REVISED FOR THIRD REVISION	06/07/21
5	REVISED FOR THIRD REVISION	06/07/21
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16	REVISED FOR THIRD REVISION	06/07/21
17	REVISED FOR THIRD REVISION	06/07/21

DATE	08/07/21
PROJECT NO.	20245
DRAWN BY:	AJ
CHECKED BY:	
SCALE	1:250
LOT PLAN	REV NO.



LOT DETAIL ANALYSIS PLAN
SCALE: 1:250





GRADING PLAN
SCALE: 1:250



59TH AVE

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	REVISION	DATE	BY
1	DATE	08/23/21	
2	SELECTED FOR THIRD READING		

DATE:
08/23/21
PROJECT NO:
20245
DRAWN BY:
Author
CHECKED BY:

GRADING PLAN
REV NO:

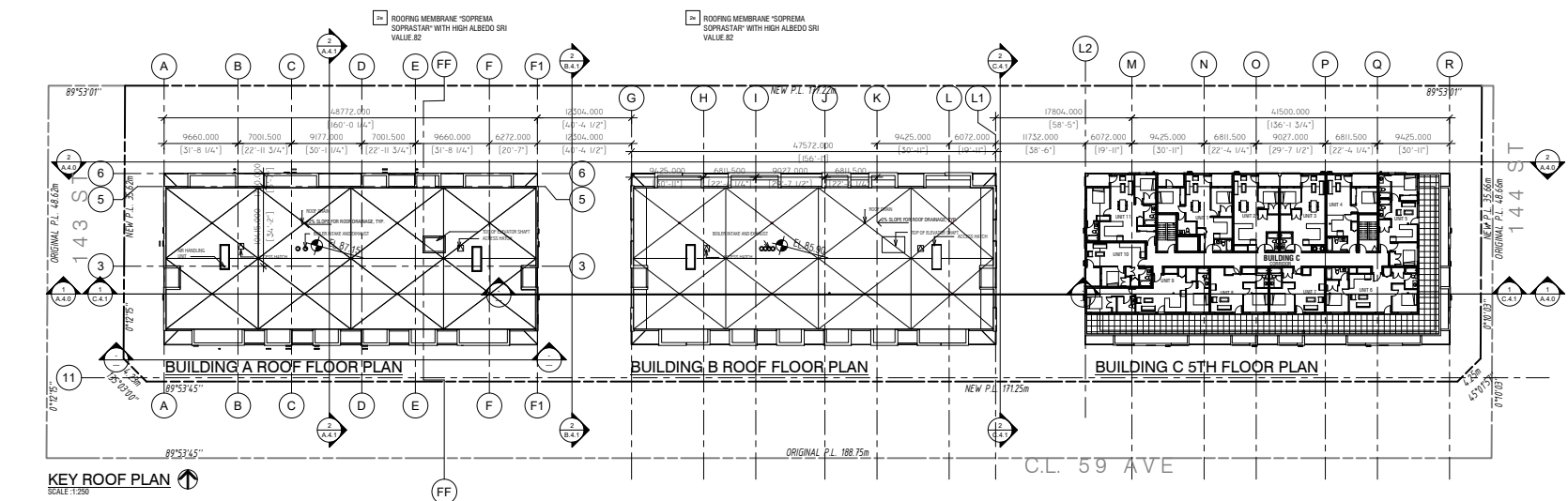
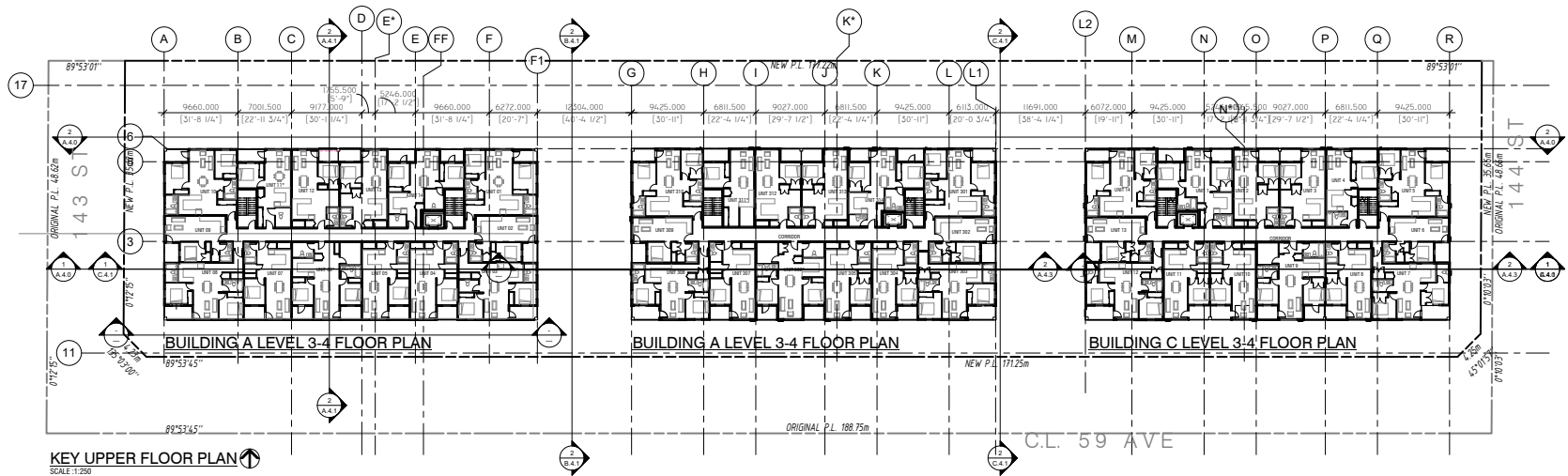
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NO.	DESCRIPTION	DATE
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10	REVISED	08/07/21

DATE	08/07/21
PROJECT NO.	20-245
DRAWN BY	AI
CHECKED BY	
SCALE	1:250

KEY UPPER FLOOR & ROOF PLAN	
REV NO.	REV NO.



Revised

PROJECT INFO:
SULLIVAN STATION MIXED USE

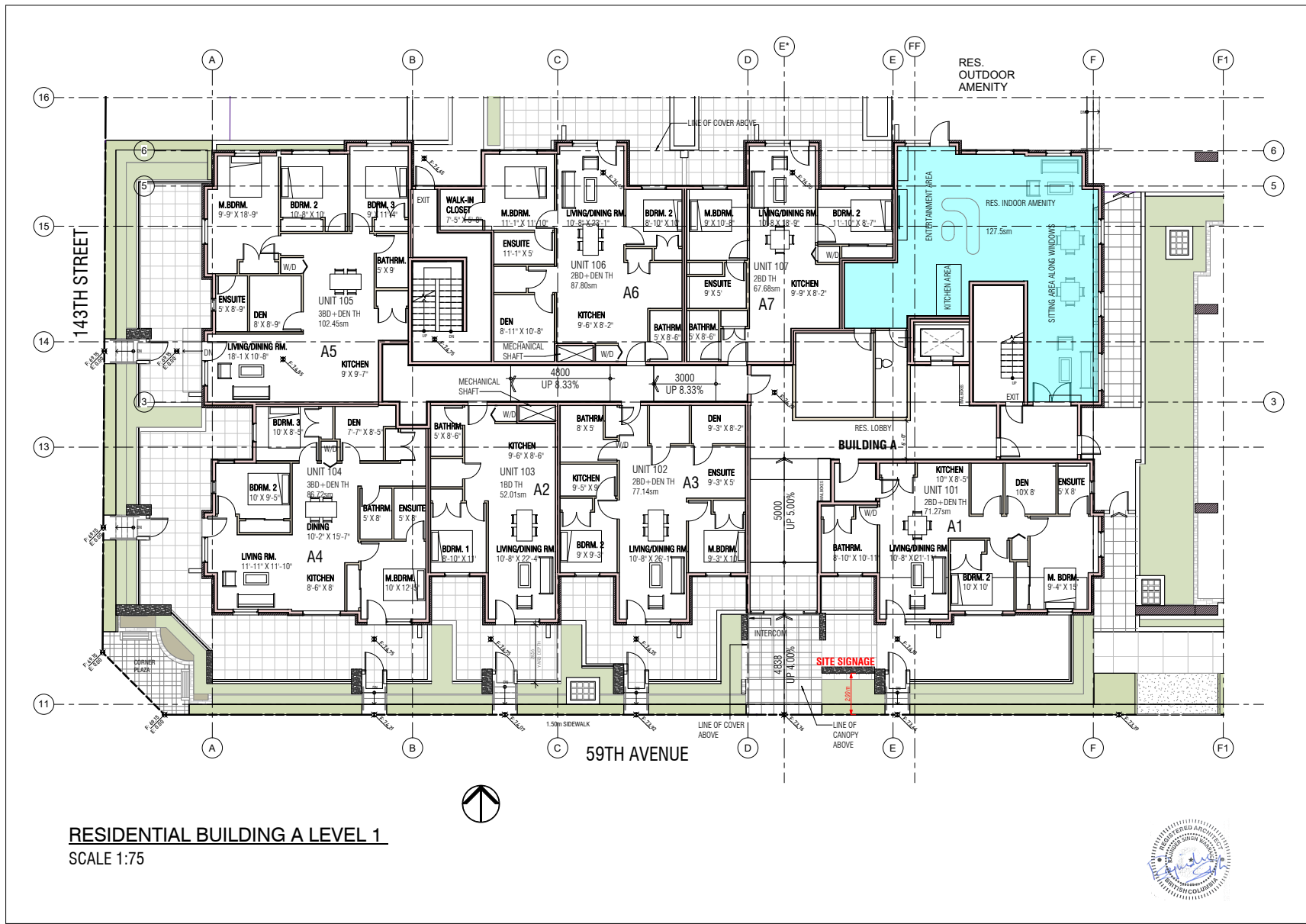
CLIENT:
55003 144 STREET

NO.	DESCRIPTION	DATE	BY
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DATE	08/24/21
PROJECT NO.	20-245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

BUILDING A 1ST LEVEL
FLOOR PLAN

A.2.1



RESIDENTIAL BUILDING A LEVEL 1
SCALE 1:75

PROJECT INFO:
SULLIVAN STATION MIXED USE

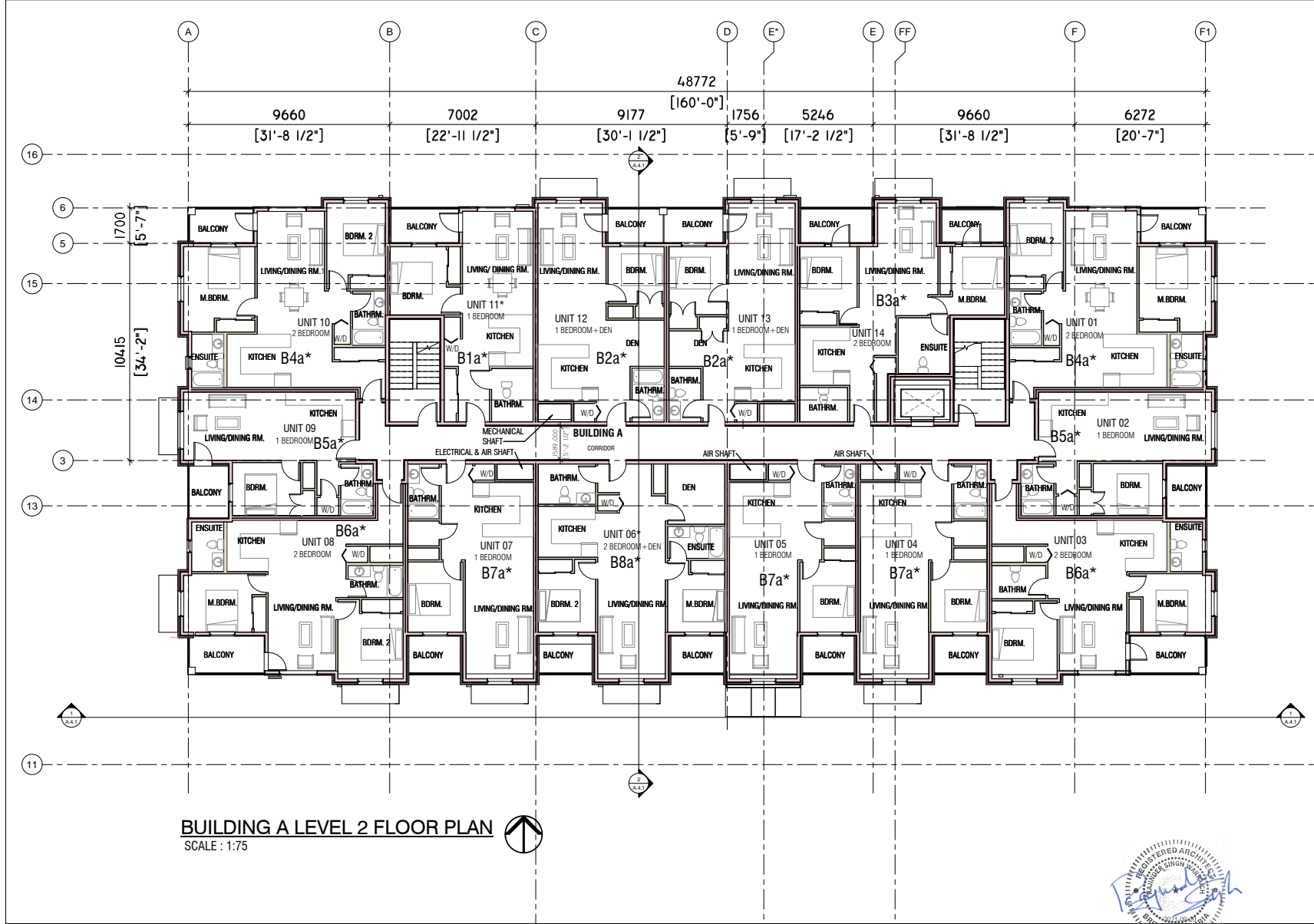
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55003 144 STREET

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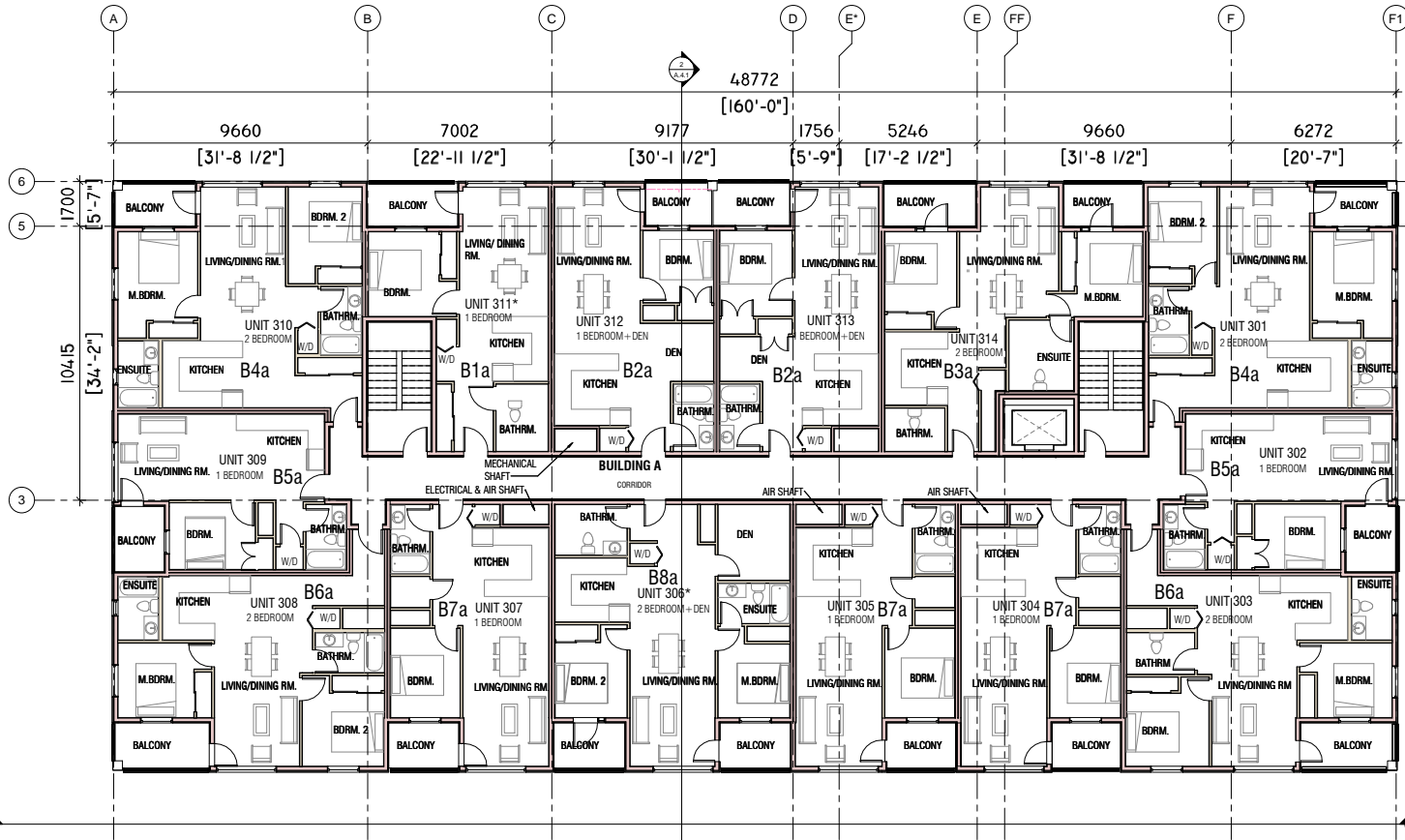
DATE:	08/28/21
PROJECT NO.:	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE:	1:75
REV NO.:	

BUILDING A 2nd LEVEL
FLOOR PLAN

A.2.2



BUILDING A LEVEL 2 FLOOR PLAN
SCALE : 1:75



BUILDING A LEVEL 3-4 FLOOR PLAN
 SCALE : 1:75



PROJECT INFO:
 SULLIVAN STATION MIXED USE

CLIENT:
 59003 144 STREET

NO.	REVISION	DATE
1	ISSUED FOR THIRD READING	08/20/21
2	REVISED	

DATE:
 08/20/21
 PROJECT NO:
 20245
 DRAWN BY:
 Author
 CHECKED BY:

BUILDING A 3-4TH
 LEVEL FLOOR PLAN

SCALE:
 1:75

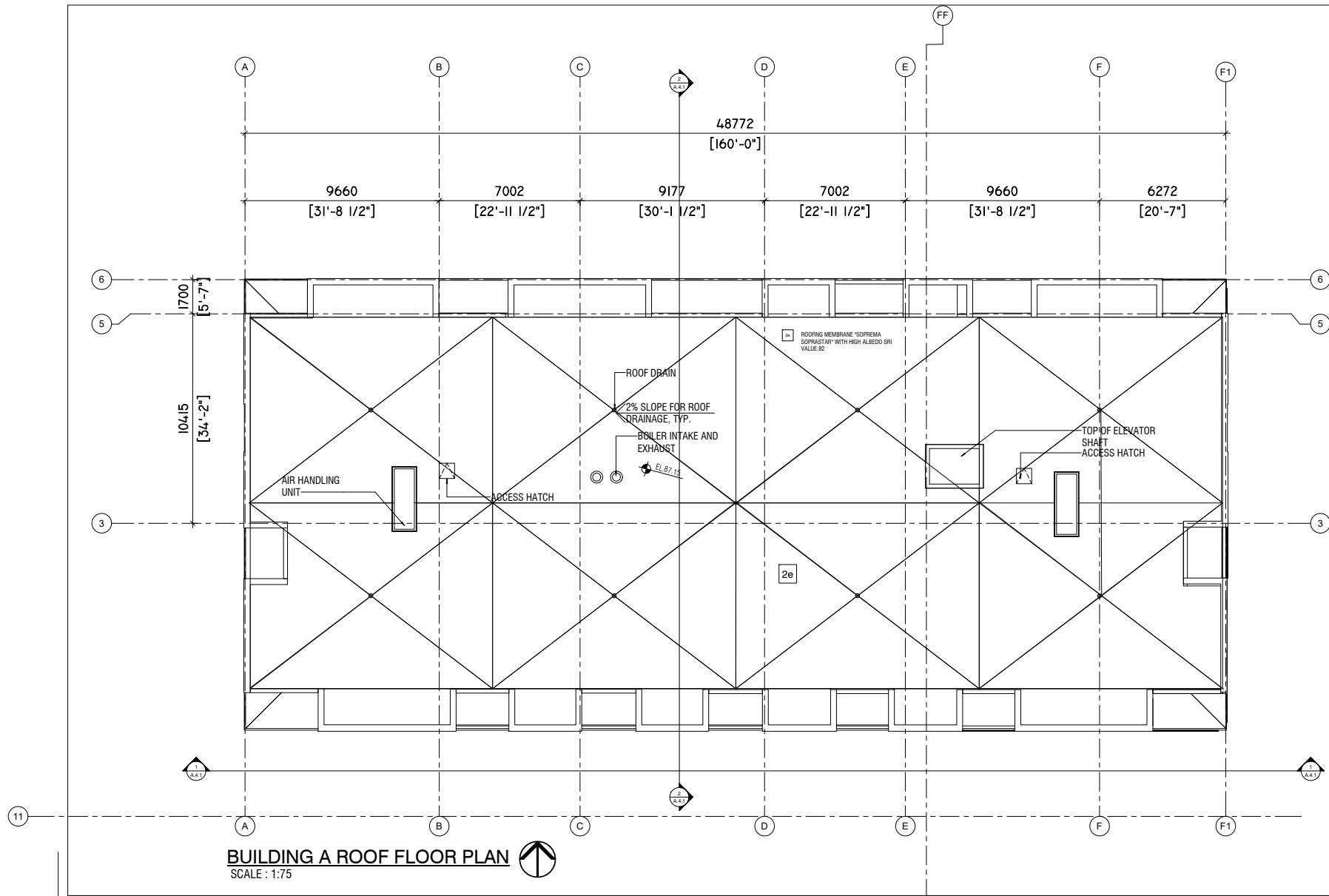
REV NO:

NO.	DESCRIPTION	DATE

DATE	02/20/21
PROJECT NO.	20-245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75

**BUILDING A ROOF
 LEVEL FLOOR PLAN**

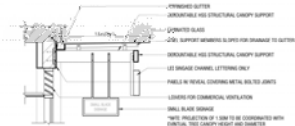
REV NO



BUILDING A ROOF FLOOR PLAN
 SCALE : 1:75



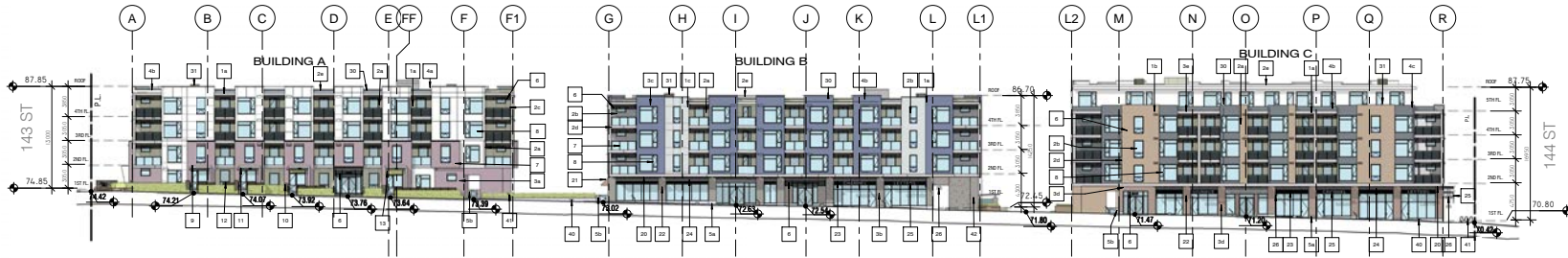
COMMERCIAL AWNING ELEVATION
SCALE: NTS



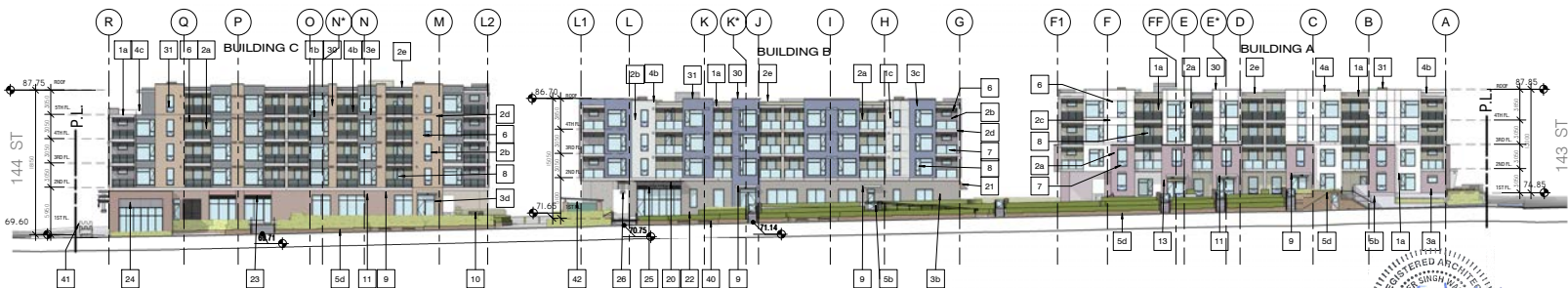
COMMERCIAL AWNING SECTION
SCALE: NTS

MATERIAL FINISH SCHEDULE

14	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	34	FACE BRICK, REDDISH BROWN-VINTAGE	54	PAINTED CONCRETE, LIGHT GREY	11	ENTRANCE SIGN, BLACK	29	COMMERCIAL SIGN, CHANNEL LETTERING ONLY
15	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	35	FACE BRICK, MEDIUM GREY-REDDO	55	EXPOSED CONCRETE W/ REVEALS	12	ALUMINUM FENCE SIMULATED WOOD	30	SMALL BLADE SIGNAGE
16	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	36	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	56	CONCRETE BLOCK WALL, ZENALL, GREY	13	FROSTED GLASS, GOLDEN YELLOW	31	ELEVATOR SHAFT DOG HOUSE
17	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	37	FACE BRICK, DARK BROWN-EBONY	57	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM	14	METAL & GLASS AWNINGS	32	AIR HANDLING UNITS
18	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	38	FACE BRICK, CREAM BROWN-TAN TERRA	58	GLASS RAILING	15	FABRIC AWNINGS	33	BENCHES
19	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	39	ROOF FLASHING, WHITE	59	VINYL WINDOWS, CHARCOAL, GREY	16	CYLINDRICAL UP & DOWN WALL LIGHT	34	BIKE RACKS
20	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	40	ROOF FLASHING, LIGHT GREY	60	ENTRANCE FRAME, WHITE	17	INTEGRATED COMMERCIAL LOUVERS	35	COMMERCIAL DUMPSTER SHED
21	ROOFING MEMBRANE 'SOPREMA SOPRASTAR' WITH HIGH ALBEDO SRI VALUE 92	41	ROOF FLASHING, CHARCOAL	61	ENTRANCE POST SIMULATED LEDGESTONE	18	PANELS W/ REVEAL, CHARCOAL	36	ALUMINUM GAS METRES SCREENING, CHARCOAL



SOUTH KEY ELEVATION (59 AVE)
SCALE: 1:250



NORTH KEY ELEVATION
SCALE: 1:250



Unit 209 - 4321 King George Blvd
Burnaby BC, V5N 1C1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE
CLIENT:
5903 144 STREET

NO.	REVISION	DATE

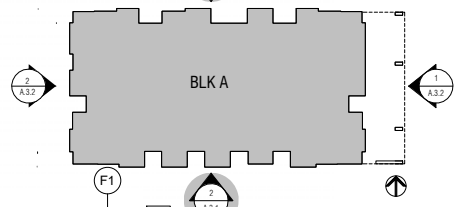
DATE: 08/07/21
PROJECT NO: 20245
DRAWN BY: AJ
CHECKED BY:
SCALE: 1:250
REV NO:

NO.	DATE	REVISION
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2		DATE
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DATE	08/06/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE	As indicated
REV NO.	

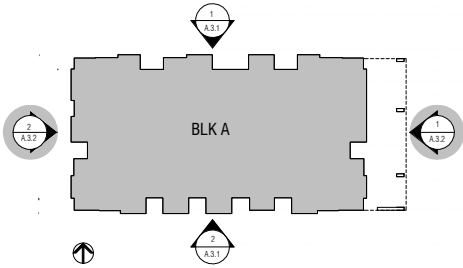


1 NORTH ELEVATION BUILDING A
SCALE 1:96



2 SOUTH ELEVATION FROM 59TH AVE BUILDING A
SCALE 1:96



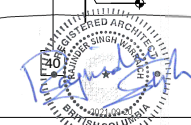


1 BUILDING A EAST ELEVATION
SCALE: 1:96

MATERIAL FINISH SCHEDULE

1a	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	2a	FACE BRICK, REDDISH BROWN-VINTAGE	3a	PAINTED CONCRETE, LIGHT GREY
1b	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	2b	FACE BRICK, MEDIUM GREY-REDONDO	3b	EXPOSED CONCRETE W/ REVEALS
1c	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	2c	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	3c	CONCRETE BLOCK WALL, ZENALL, GREY
2a	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	2d	FACE BRICK, DARK BROWN-EBONY	4	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
2b	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	2e	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
2c	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	4a	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
2d	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	4b	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
2e	ROOFING MEMBRANE "SOPREMA SORPASTAR" WITH HIGH ALBEDO SRI VALUE.82	4c	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST, SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	2f	INTEGRATED COMMERCIAL LOUVERS	10a	BENCHES
12	ALUMINUM FENCE, SIMULATED WOOD	2g	PANELS W/ REVEAL, CHARCOAL	11	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	2h	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	12	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	2i	SMALL BLADE SIGNAGE	13	ALUMINUM GAS METRES SCREENING, CHARCOAL
21	FABRIC AWNINGS	2j	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	31	AIR HANDLING UNITS		

2 BUILDING A WEST ELEVATION (143 ST)
SCALE: 1:96



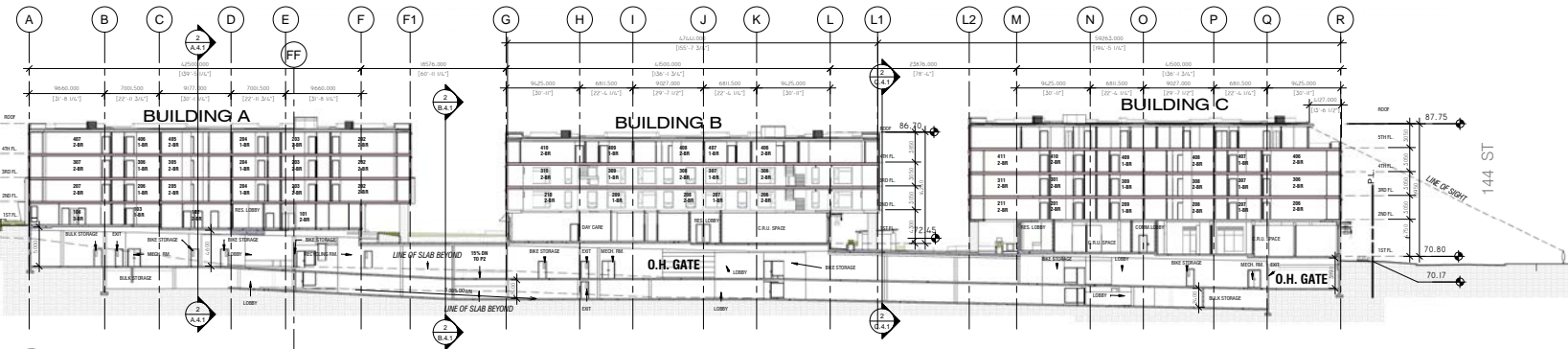
NO.	REVISION	DATE
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2	REVISED FOR THIRD REVISION	06/07/21

DATE	02/16/21
PROJECT NO.	20-245
DRAWN BY:	Author
CHECKED BY:	
SCALE:	As Indicated
REV NO.	

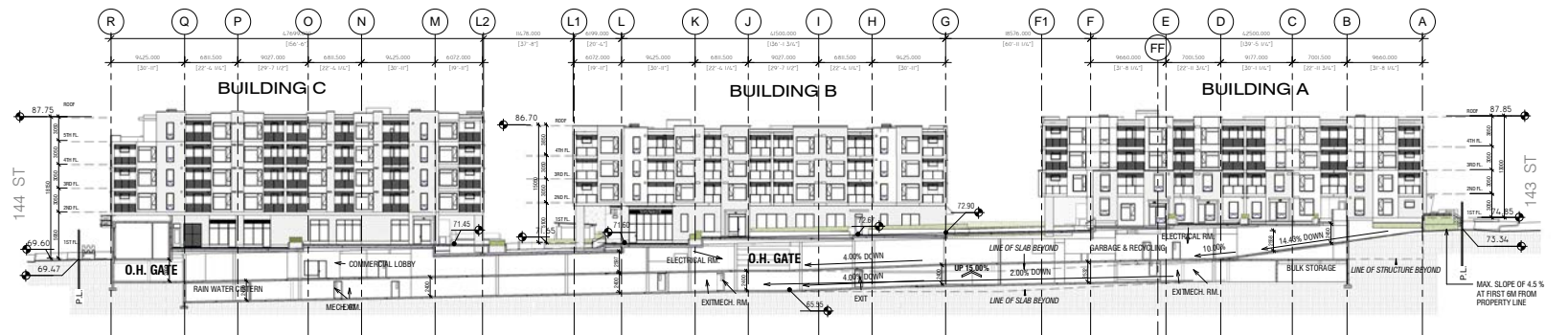
W & E ELEVATION
BUILDING A

NO.	REVISION/DATE	BY	DATE

DATE 08/07/21	KEYN & S SECTIONS
PROJECT NO. 20245	
DRAWN BY: AJ	
CHECKED BY:	
SCALE 1:200	
DATE	REVNO



1 LONGITUDINAL SECTION 1



2 LONGITUDINAL SECTION 2

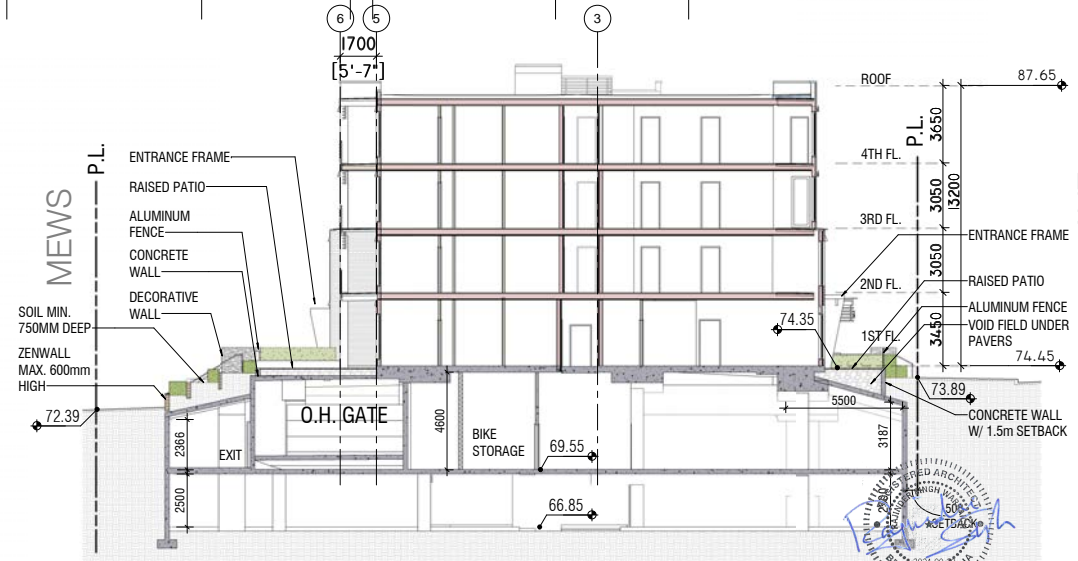
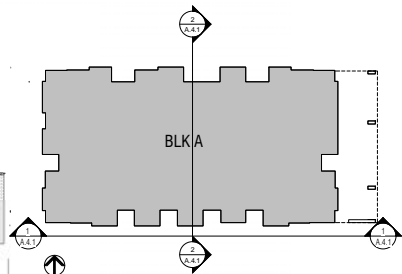


IMAGE OF SECURITY O.H. PARKING GATE (TYP.)

HIGH QUALITY STEEL MULTI-SECTIONAL OVERHEAD GATE AT ALL PARKING SECURITY POINTS



1 LONGITUDINAL SECTION 3 (BUILDING A)
SCALE: 1:96



2 CROSS SECTION 1 (BUILDING A)
SCALE: 1:96



Unit 209-4021 King George Blvd
Surrey BC V2X 1C1
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Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE: 02/20/21
PROJECT NO: 20245
DRAWN BY: Author
CHECKED BY:
SCALE: As Indicated

BUILDING A SECTIONS
REV NO.

A.4.1



PROJECT INFO:
SULLIVAN STATION MIXED USE

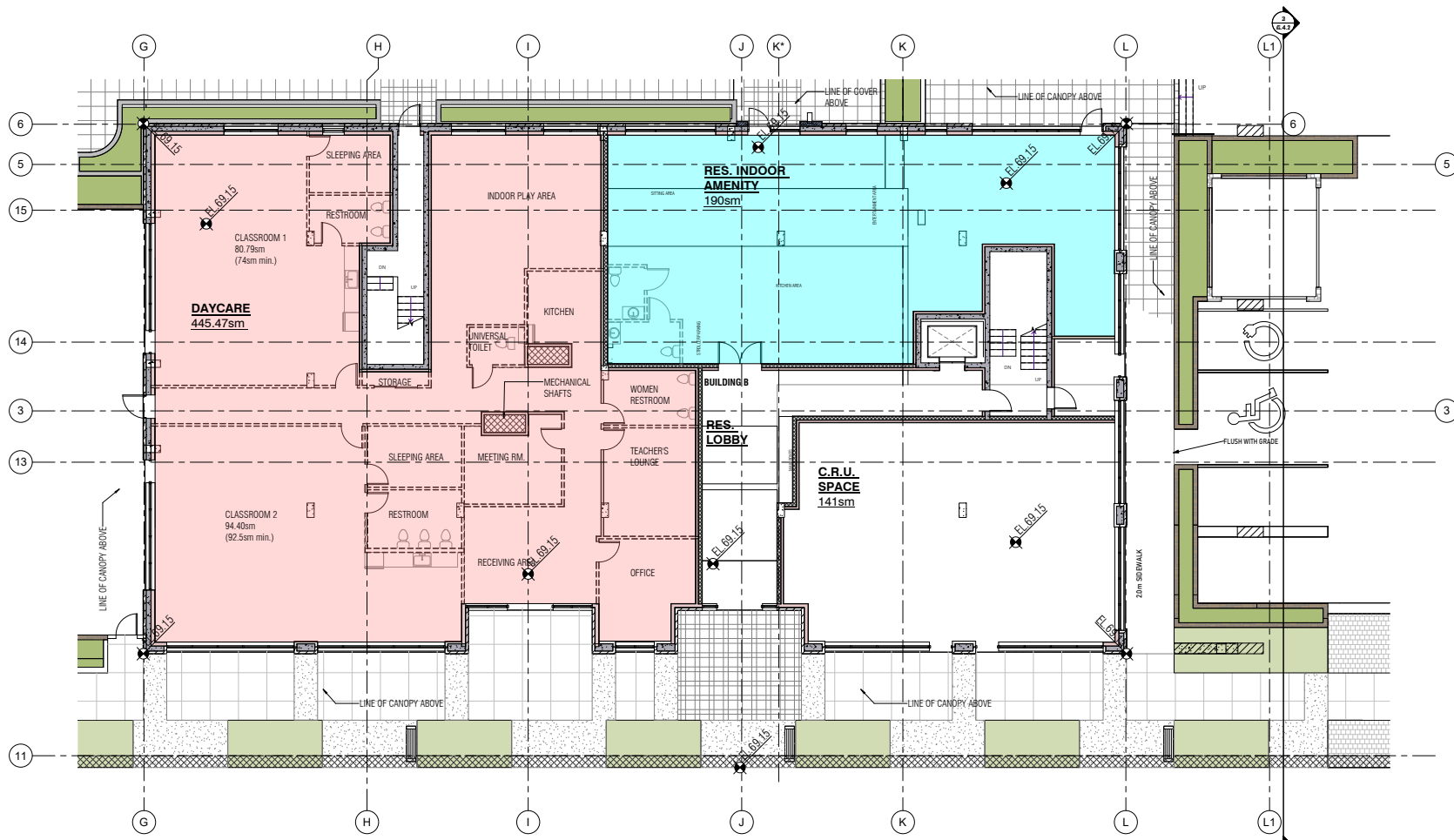
CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY
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2	REVISION		

DATE	18/10/21
PROJECT NO.	20-245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

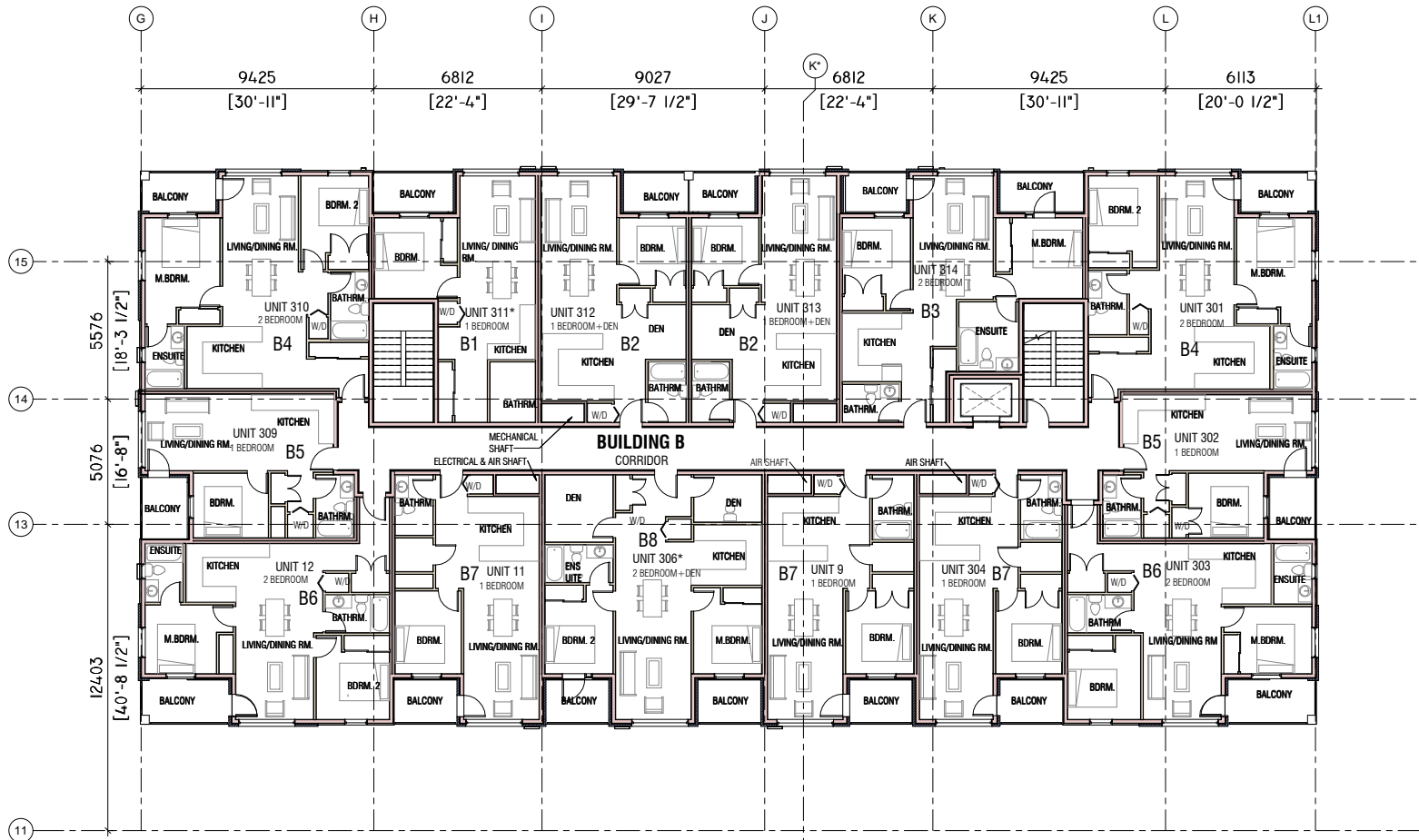
BUILDING B 1ST LEVEL
FLOOR PLAN

B.2.1



RESIDENTIAL BUILDING B LEVEL 1
SCALE 1:75





BUILDING B LEVEL 2-4 FLOOR PLAN
 SCALE: 1:75



PROJECT INFO:
 SULLIVAN STATION MIXED USE

CLIENT:
 5903 144 STREET

NO.	REVISION/DATE	DATE

DATE:
 02/16/21
 PROJECT NO:
 20245
 DRAWN BY:
 Author
 CHECKED BY:

BUILDING B 2-4TH
 LEVEL FLOOR PLAN

SCALE:
 1:75

REV NO:



PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE:
02/16/21

PROJECT NO:
20-245

DESIGN BY:
Author

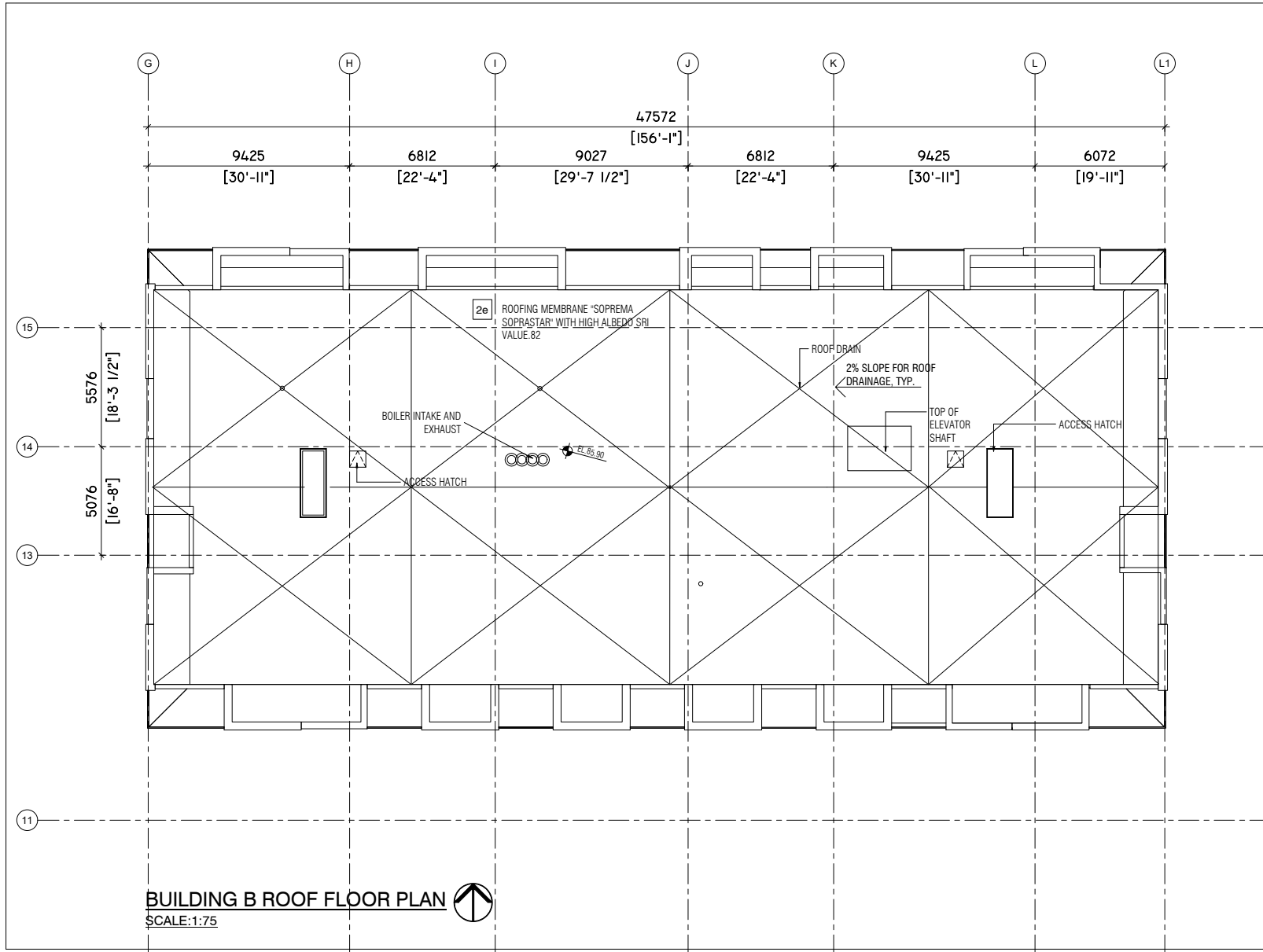
CHECKED BY:

BUILDING B ROOF
LEVEL FLOOR PLAN

REV NO

SCALE:
1:75

B.2.3





1 NORTH ELEVATION BUILDING B
SCALE 1:96



2 SOUTH ELEVATION FROM 59TH AVE BUILDING B
SCALE 1:96

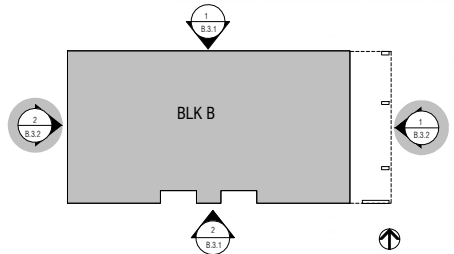
PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	REVISION	DATE

DATE	02/24/21	N & S ELEVATION BUILDING B
PROJECT NO.	20245	
DRAWN BY:	Author	
CHECKED BY:		
SCALE	As Indicated	





1 BUILDING B EAST ELEVATION
SCALE: 1:96



MATERIAL FINISH SCHEDULE

14	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	24	FACE BRICK, REDDISH BROWN-VINTAGE	34	PAINTED CONCRETE, LIGHT GREY
15	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	25	FACE BRICK, MEDIUM GREY-REDONDO	35	EXPOSED CONCRETE W/ REVEALS
16	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	26	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	36	CONCRETE BLOCK WALL, ZENALL, GREY
21	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	27	FACE BRICK, DARK BROWN-EBONY	4	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
23	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	28	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
24	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	42	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
25	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE MATTE FINISH	43	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
26	ROOFING MEMBRANE "SOPREMA COMPACT" W/ HIGH ALBEDO SRI VALUE 82	44	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	37	INTEGRATED COMMERCIAL LOUVERS	40	BENCHES
12	ALUMINUM FENCE SIMULATED WOOD	24	PANELS W/ REVEAL, CHARCOAL	41	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	22	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	43	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	28	SMALL BLADE SIGNAGE	45	ALUMINUM GAS METRES SCREENING, CHARCOAL
27	FABRIC AWNINGS	20	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	31	AIR HANDLING UNITS		

2 BUILDING B WEST ELEVATION
SCALE: 1:96

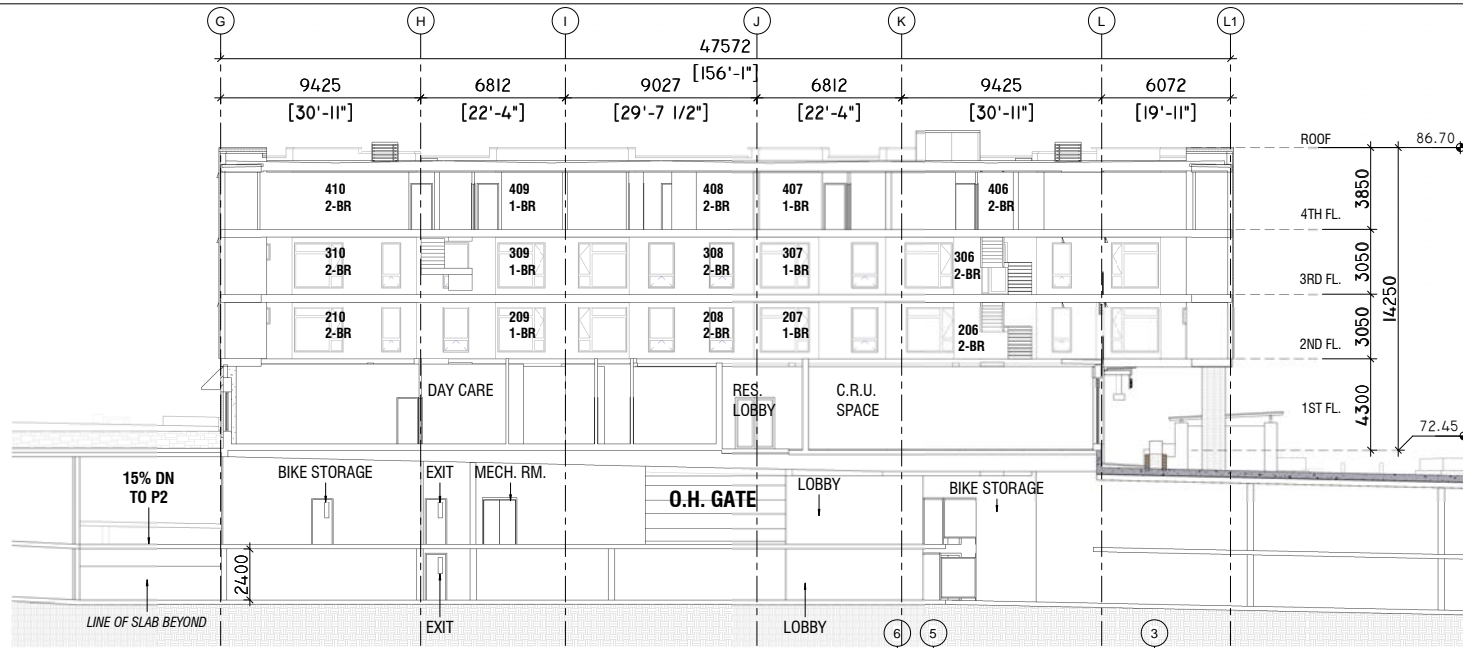


PROJECT INFO:
SULLIVAN STATION MIXED USE

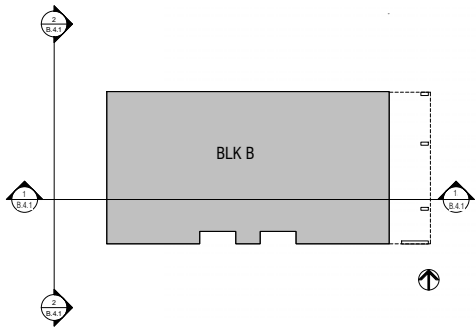
CLIENT:
5903, 144 STREET

NO.	DATE	REVISION
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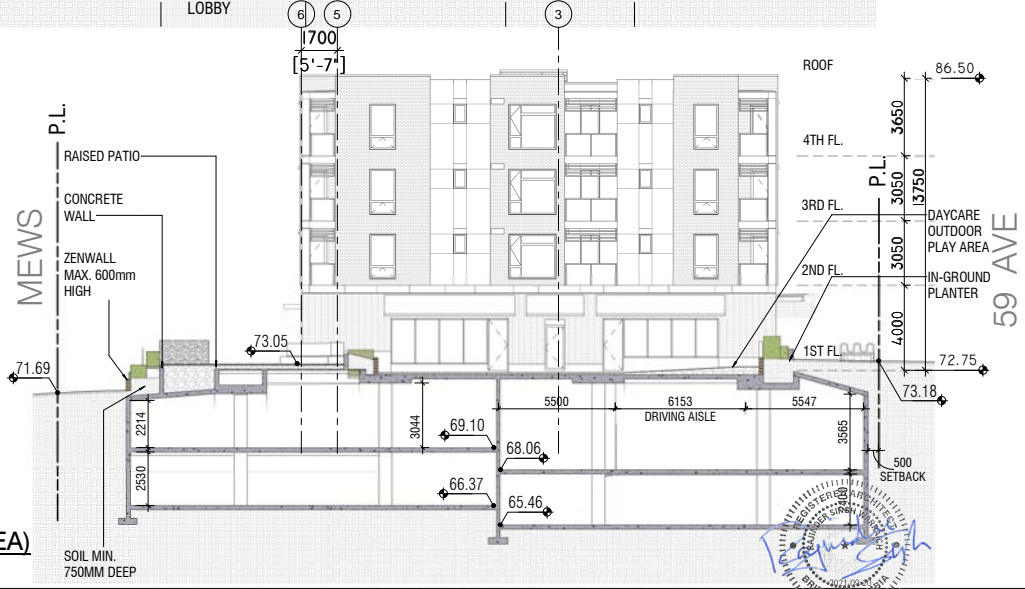
DATE	PROJECT NO.	DESIGN BY	CHECKED BY	SCALE	REV NO.
02/16/21	20245	Author		As Indicated	



1 LONGITUDINAL SECTION (BUILDING B)
SCALE: 1:96



2 CROSS SECTION 2 (DAYCARE OUTDOOR PLAY AREA)
SCALE: 1:96

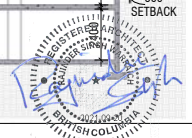


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DATE	PROJECT NO.	DRAWN BY	CHECKED BY	SCALE
08/30/21	20245	Author		As indicated

BUILDING B SECTIONS

REV NO.

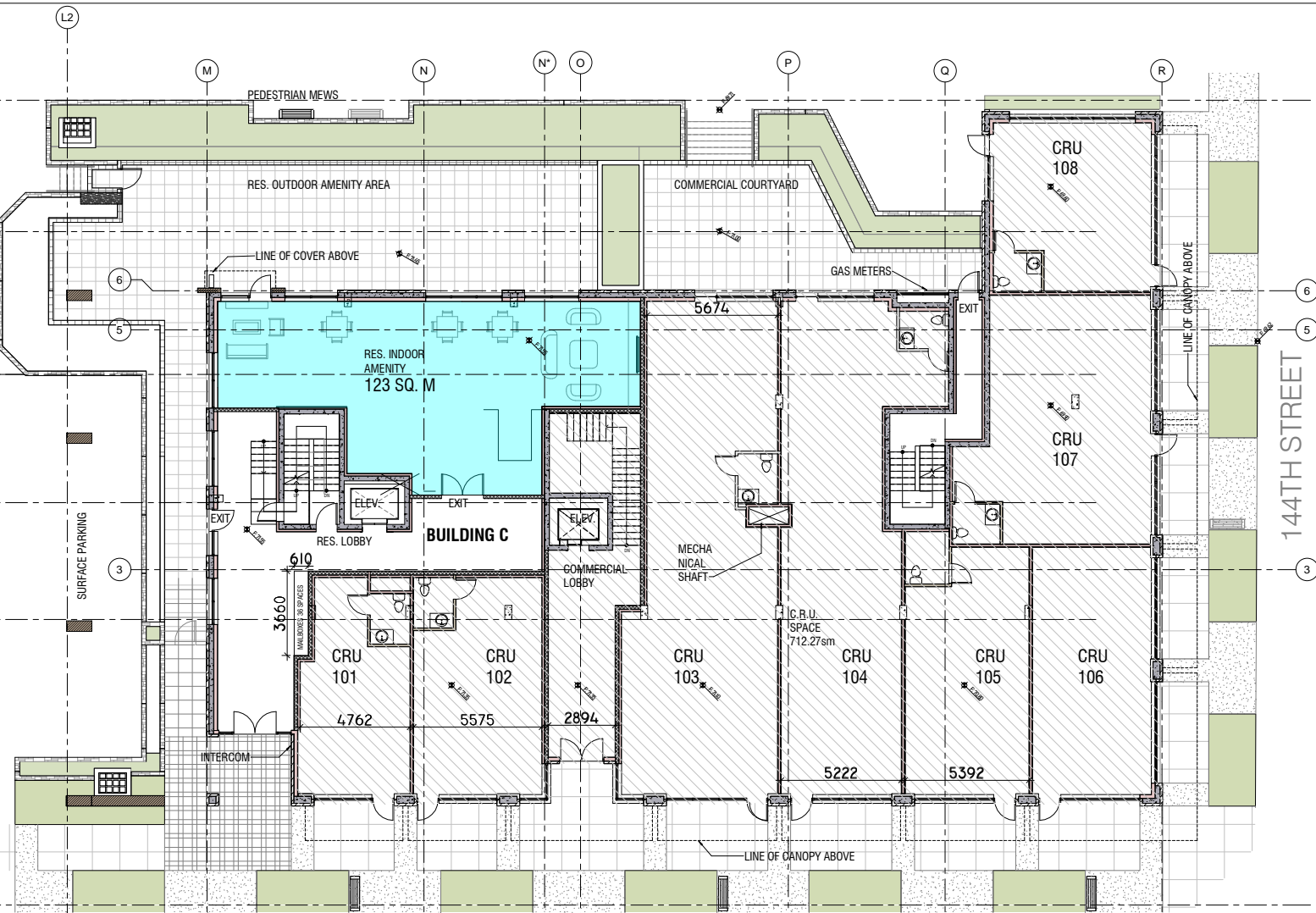


RESIDENTIAL BUILDING C LEVEL 1
SCALE 1:75



59TH AVENUE

144TH STREET



PROJECT INFO:
SULLIVAN STATION MIXED USE

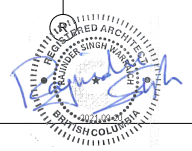
CLIENT:
5903, 144 STREET

NO.	REVISION/DATE	DATE	BY	DATE

DATE	18/10/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE	1:75

BUILDING C LIST LEVEL
FLOOR PLAN

REV NO.	
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C.2.1

PROJECT INFO:
 SULLIVAN STATION MIXED USE

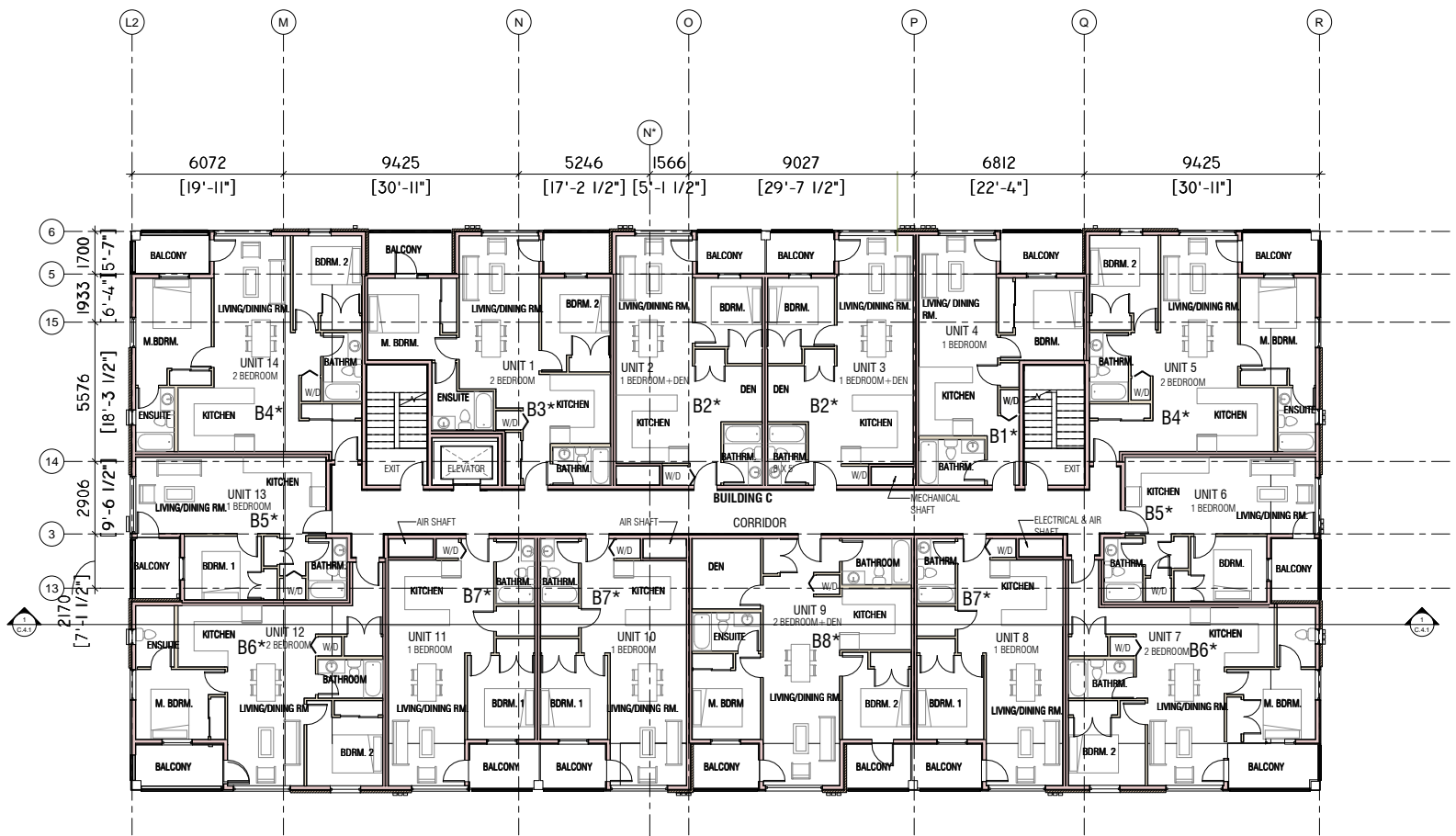
CLIENT:
 55003 144 STREET

NO.	REVISION	DATE

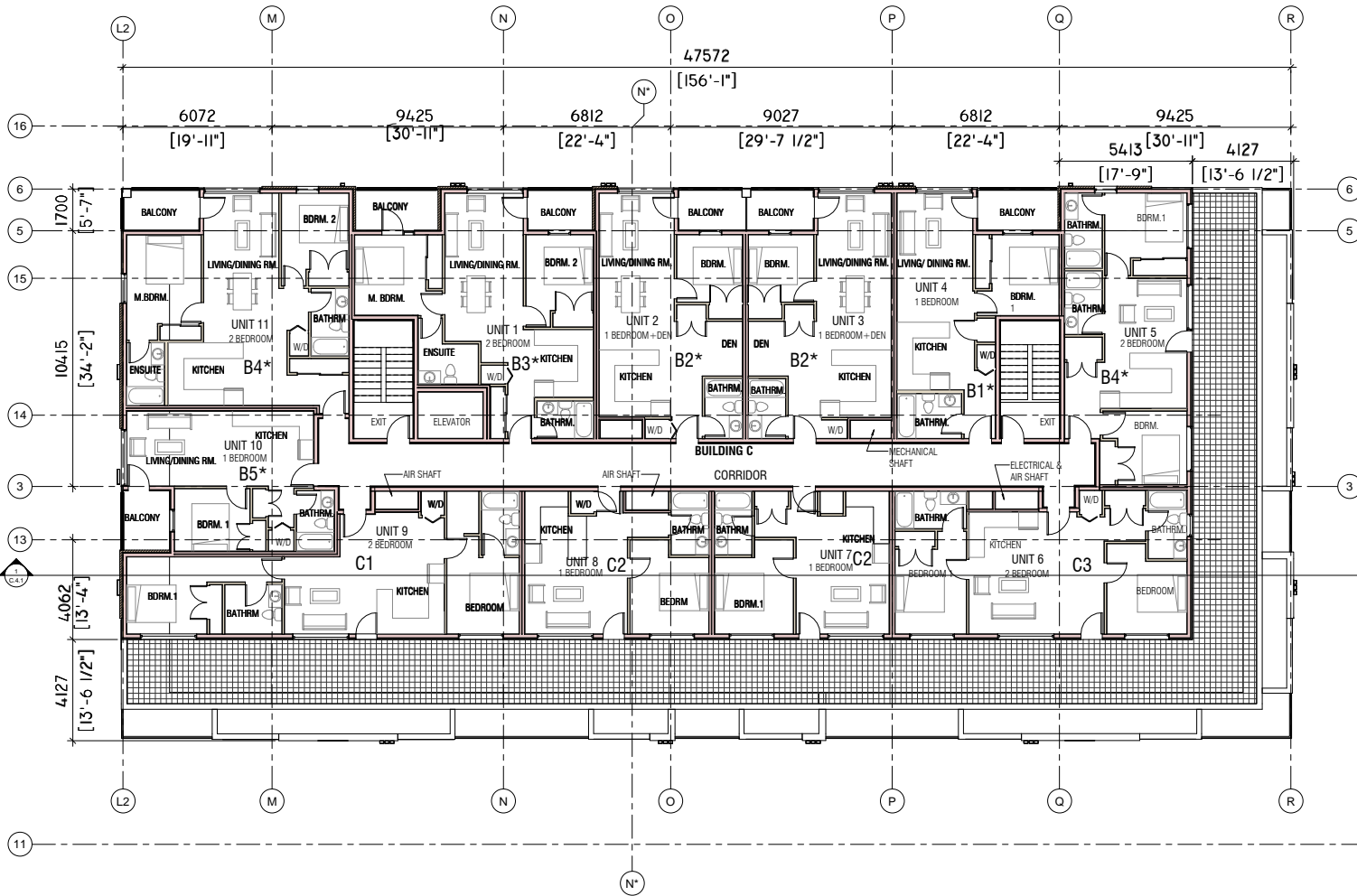
DATE:
 02/24/21
 PROJECT NO:
 20245
 DRAWN BY:
 Author
 CHECKED BY:

BUILDING C 2-4TH
 LEVEL FLOOR PLAN
 REV NO. REV NO.

C.2.2



BUILDING C LEVEL 2-4 FLOOR PLAN
 SCALE: 1:75



BUILDING C LEVEL 5 FLOOR PLAN
 SCALE: 1:75



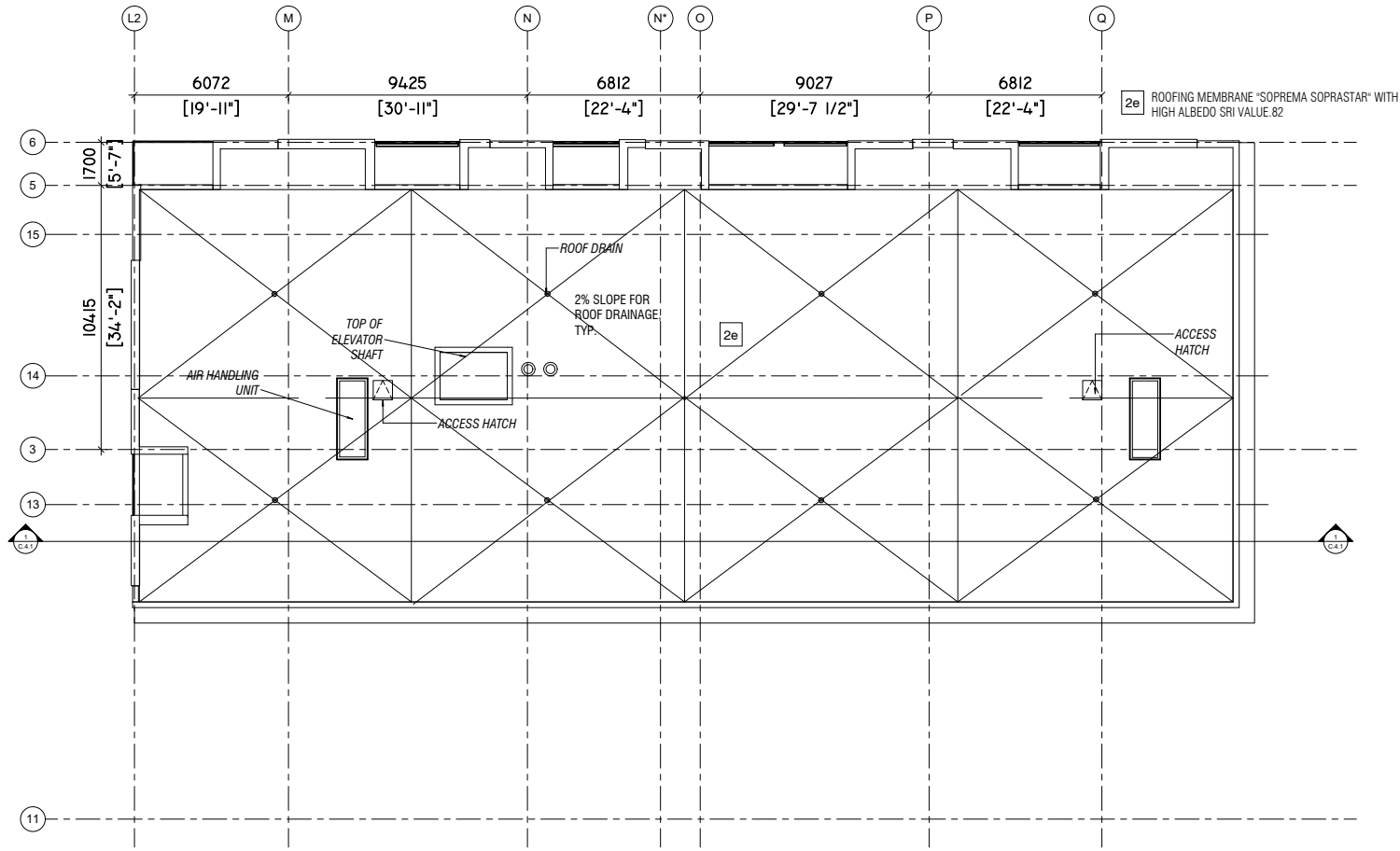
PROJECT INFO:
 SULLIVAN STATION MIXED USE

CLIENT:
 55003 144 STREET

NO.	REVISION	DATE	BY

DATE: 02/20/21
 PROJECT NO: 20-245
 DRAWN BY: Author
 CHECKED BY:
 SCALE: 1:75

BUILDING C 5TH LEVEL
 FLOOR PLAN



BUILDING C ROOF PLAN
 SCALE: 1:75



2e ROOFING MEMBRANE 'SOPREMA SOPRASTAR' WITH HIGH ALBEDO SRI VALUE.82

Unit 206- 4321 King George Blvd
 Surrey BC, V2X 1C1
 www.flatarchitecture.ca
 contact@flatarchitecture.ca
 Ph: 604-503-4484

PROJECT INFO:
 SULLIVAN STATION MIXED USE
 CLIENT:
 5903, 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE	02/20/21
PROJECT NO.	20-245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

BUILDING C ROOF
 LEVEL FLOOR PLAN

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903, 144 STREET

NO.	DATE	REVISION
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PROJECT NO.	20245
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SCALE	As indicated
REV NO.	

C.3.1

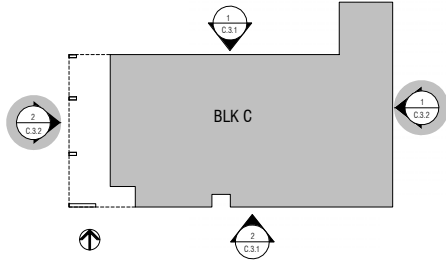


1 NORTH ELEVATION BUILDING C
SCALE 1:96



2 SOUTH ELEVATION FROM 59TH AVE BUILDING C
SCALE 1:96



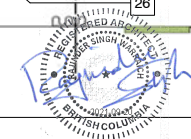


1 BUILDING C EAST ELEVATION (144 ST)
SCALE: 1:96

MATERIAL FINISH SCHEDULE

1a	ALUMINUM PANEL, W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	3a	FACE BRICK, REDDISH BROWN-VINTAGE	5a	PAINTED CONCRETE, LIGHT GREY
1b	ALUMINUM PANEL, W/ REVEAL, BLACK, EGG SHELL FINISH	3b	FACE BRICK, MEDIUM GREY-REDONDO	5b	EXPOSED CONCRETE W/ REVEALS
1c	ALUMINUM PANEL, W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	3c	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	5c	CONCRETE BLOCK WALL, ZENKALL, GREY
2a	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	3d	FACE BRICK, DARK BROWN-EBONY	6	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
2b	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	3e	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
2c	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	4a	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
2d	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	4b	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
2e	ROOFING MEMBRANE "SOPREMA SOPRASTAR" WITH HIGH ALBEDO SR1 VALUE R2	4c	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST, SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	23	INTEGRATED COMMERCIAL LOUVERS	40	BENCHES
12	ALUMINUM FENCE, SIMULATED WOOD	24	PANELS W/ REVEAL, CHARCOAL	41	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	25	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	42	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	26	SMALL BLADE SIGNAGE	43	ALUMINUM GAS METRES SCREENING, CHARCOAL
21	FABRIC AWNINGS	20	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	11	AIR HANDLING UNITS		

2 BUILDING C WEST ELEVATION
SCALE: 1:96



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ARCHITECTURE
3

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Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE

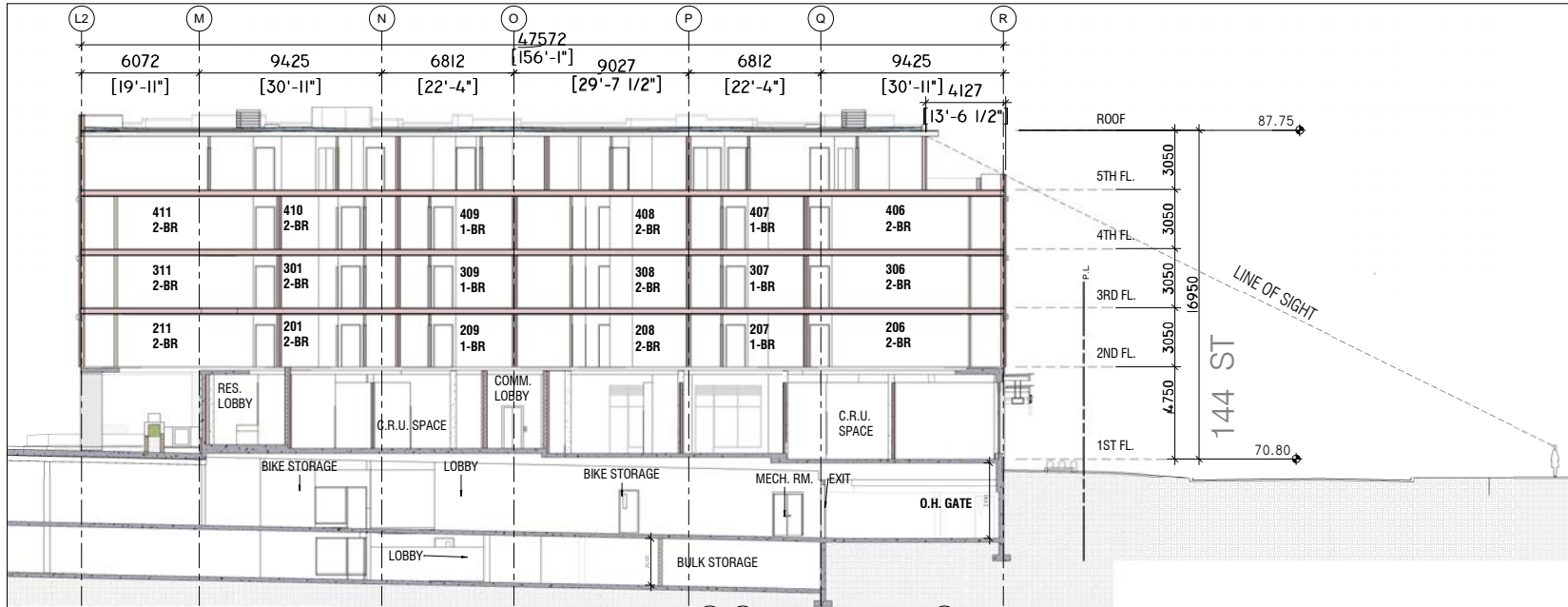
CLIENT:
55003 144 STREET

DATE	18/04/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
SCALE	As indicated
REV	REVISIONS
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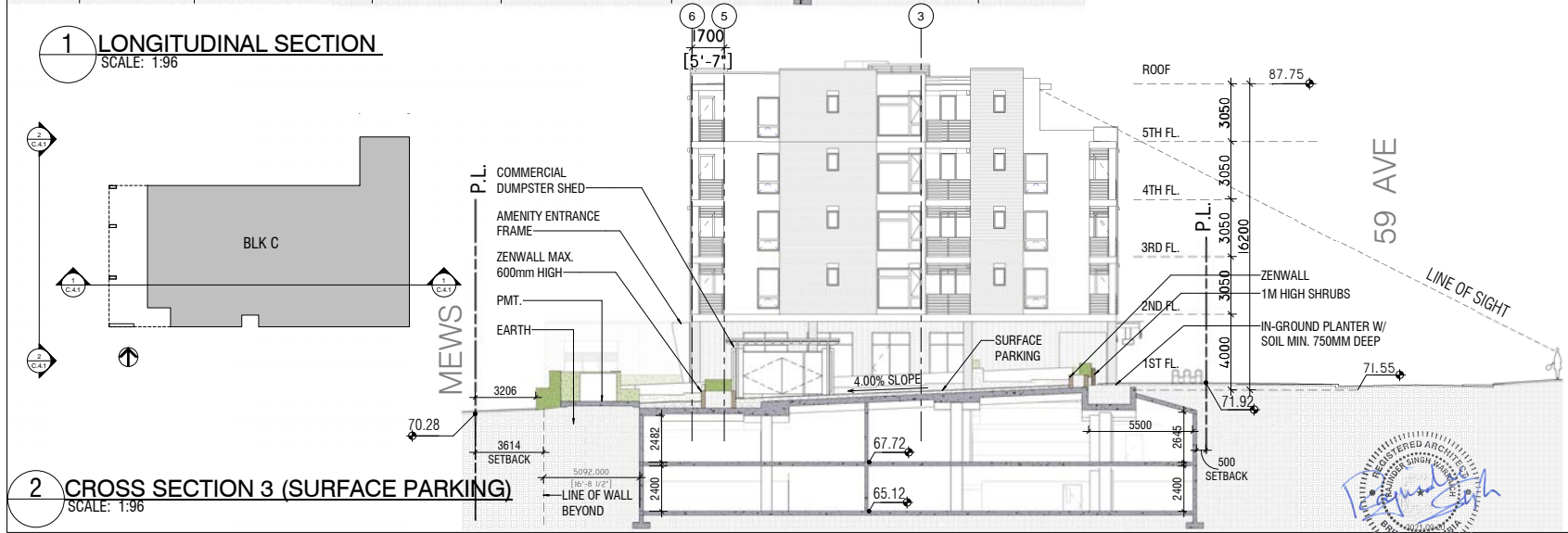
DATE: 18/04/21
PROJECT NO.: 20245
DRAWN BY: Author
CHECKED BY:
SCALE: As indicated
REV NO.:
REV:

W & E ELEVATION
BUILDING C

C.3.2



1 LONGITUDINAL SECTION
SCALE: 1:96



2 CROSS SECTION 3 (SURFACE PARKING)
SCALE: 1:96



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contact@flatarchitecture.ca
Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903, 144 STREET

NO.	REVISION	DATE	BY

DATE	02/20/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
SCALE	As Indicated

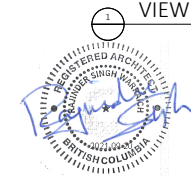
BUILDING C
SECTIONS/SIGHTLINE
ANALYSIS

C.4.1





VIEW FROM SOUTH WEST

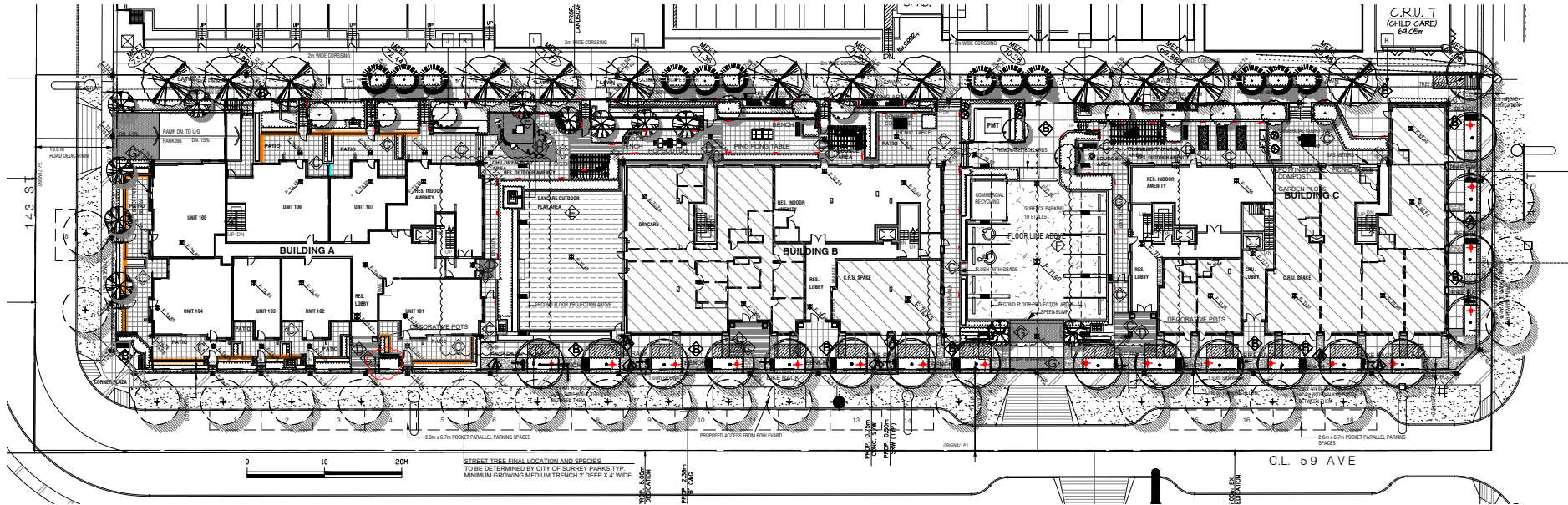


PROJECT INFO:
 5 STORY APARTMENT BUILDING
 5093 144 ST
 SURREY BC
CLIENT:

DATE: 01-09-2021
PROJECT NO.:

SCALE: DRAWN
 As Noted R.W

VIEWS



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
TREE					
6		CHAMAECYPARIS N. 'VAN DEN AKKER'	WEeping Nootka CYPRESS	3M HT. B&B	
13		GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MADDENHAIR TREE	6CM CAL. 2M STD. B&B	
12		MAGNOLIA ROBUSTA STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. B&B	
13		PICEA OMORICA	SERBIAN SPRUCE	3M HT. B&B	
13		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL. 1.5M STD. B&B	
19		STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL. B&B	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
- All soft landscape areas to be irrigated with automatically installation to I.A.B.C. Standards, latest edition.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
20		STREET TREE	TYPE AND LOCATION BY CITY	6CM CAL. B&B	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PAVER LEGEND

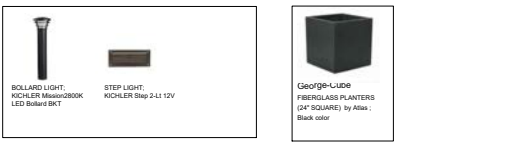
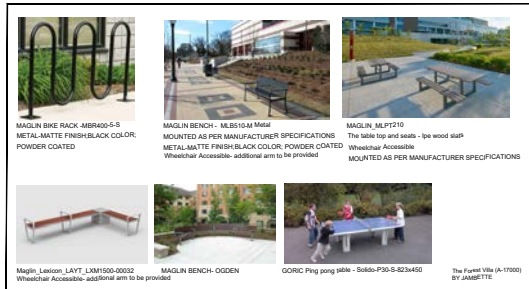
	EXPOSED AGGREGATE
	SAW-CUT CONCRETE
	2x2' 2x1' Vancouver Bay Architectural Slabs COLOR: GREY, BY MUTUAL MATERIALS
	2x1' Vancouver Bay Architectural Slabs COLOR: CHARCOAL, BY MUTUAL MATERIALS
	RUBBER TILE SAFETY ZONE SURFACE FOR PLAY AREA
	CONCRETE SLAB BY OTHER
	HOLLAND PAVERS HERRINGBONE PATTERN, CASCADE BLEND, BY MUTUAL MATERIALS
	FIBAX
	STRUCTURAL SOIL

SITE FURNITURE LEGEND

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/8RD MIN. 24" x MAX. 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE
	PING PONG TABLE
	FIBERGLASS DECORATIVE PLANTER

LIGHTING LEGEND

	BOLLARD LIGHT
	STEP LIGHT



CLIENT:	_____		
WITH:	_____		
PROJECT:	_____		
RESIDENTIAL / COMMERCIAL DEVELOPMENT	_____		
5903 - 144TH STREET SURREY	_____		
City file:	_____		
NO.	DATE	REVISION DESCRIPTION	DR.
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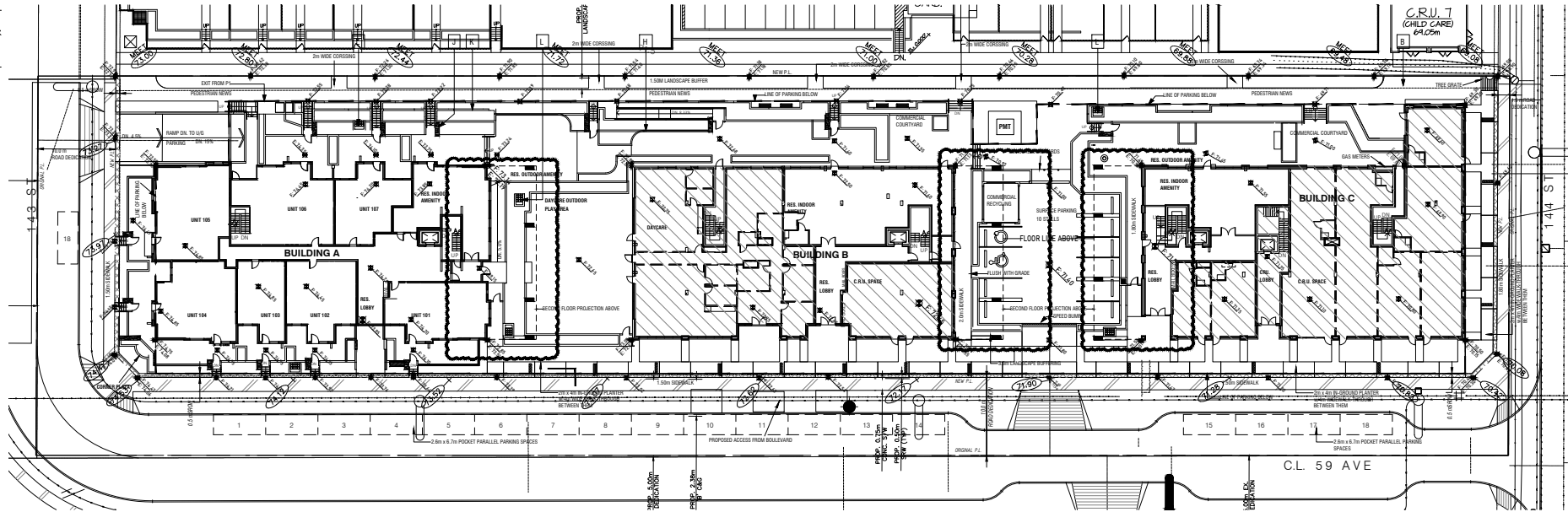
RESIDENTIAL / COMMERCIAL DEVELOPMENT
5903 - 144TH STREET SURREY

City file:

PROJECT: SEAL: DRAWING TITLE: DATE: August 12, 2021 DRAWING NUMBER: SCALE: 1:250 DRAWING NO: DESIGN: DD DESIGN: DD CHK'D: PCM DRAWING NUMBER: L1

STREET TREE PLAN

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 Burnaby, British Columbia, V5C 6G9
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CLIENT:
 WITH:

NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

**RESIDENTIAL / COMMERCIAL
 DEVELOPMENT
 5903 - 144TH STREET
 SURREY**

City file:

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DRAWING TITLE:

**GRADING
 PLAN**

DATE: August 12, 2021
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 DESIGN: DD
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DRAWING NUMBER:

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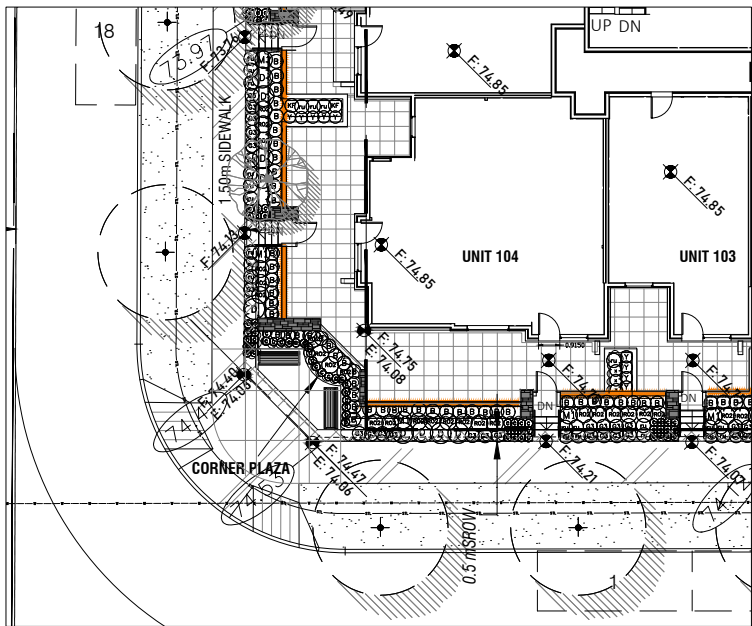
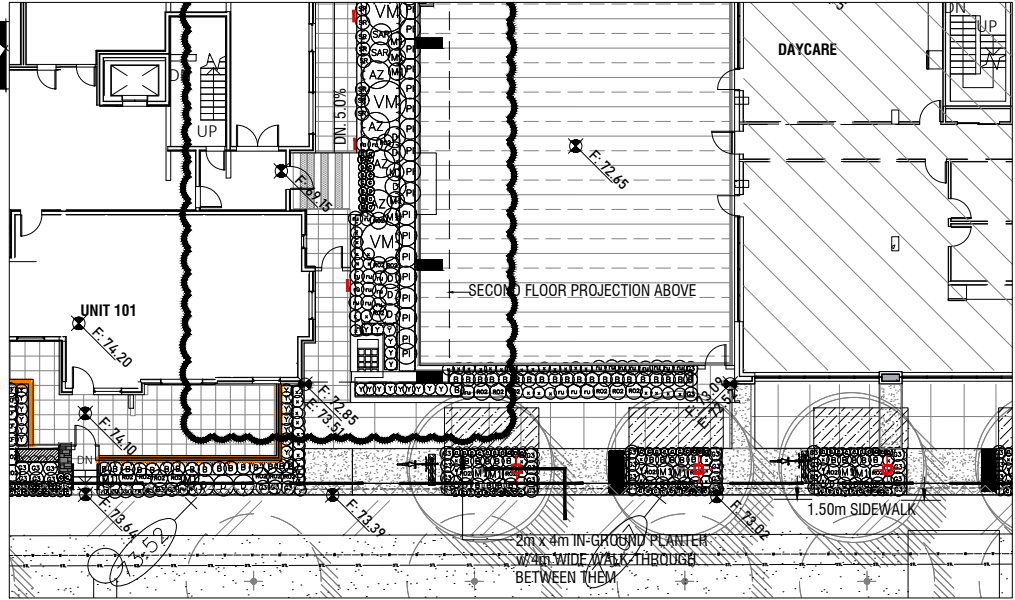
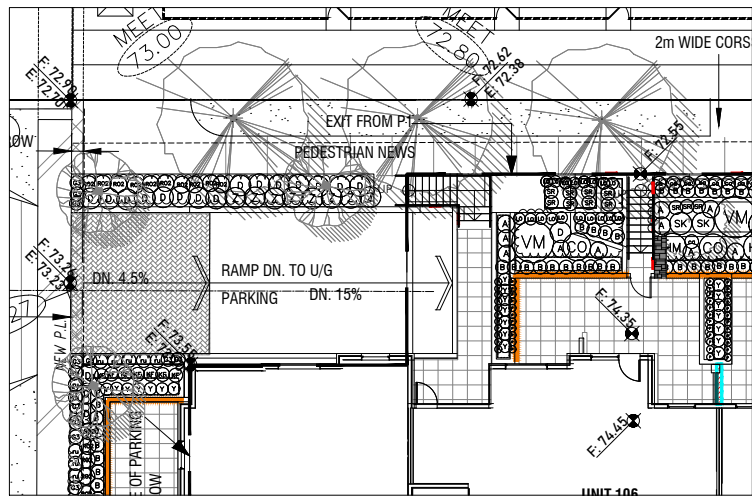
PMG PROJECT NUMBER:

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DRAWING NUMBER:

OF 9

21-154



PLANT SCHEDULE PMG PROJECT NUMBER: 21-154

QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / FEATURES
23	AZALEA JAPONICA 'INDO CRIMSON'	AZALEA (SINGLE DEEP CRIMSON)	#2 POT
4	AZALEA 'MOULDS VIRENS'	SECURIUS AZALEAS VARIETIES	#3 POT: 40CM
7	BERBERIS THUNBERGII 'MONDAMB'	CHERRY BOMB BARBERRY	#2 POT
479	BULBUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT: 40CM
6	CHERRYA TERNATA	MEXICAN MOON ORANGE	#3 POT: 30CM
3	CORNUS ALBA 'KELSEY'	KELSEY DWARF DOGWOOD	#2 POT
6	HYDRANGEA MACROPHYLLA 'NINKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT: 30CM
29	ILEX CRENATA 'CORVEXA'	JAPANESE HOLLY	#3 POT: 50CM
18	KALIMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT: 50CM
71	PRIERS JAPONICA 'FOREST FLAME'	PRIERS WHITE BLOOMS	#3 POT: 30CM
8	PRUNUS LAUROCESTRIBUS 'ZABELIANA'	ZABEL'S LAUREL	#2 POT: 30CM
144	RHOISODENDRON 'BAMBI BAMBAY'	RHOISODENDRON RED	#3 POT: 30CM
141	ROSIA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
148	RUBUS PENTALOBUS	CREeping RAUBERRY	#1 POT
6	SARCOCODICIA HONERIANA 'RUSCIFOLIA'	FRAGRANT SARKOCODICIA	#2 POT
4	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT: 30CM
25	SKIMMIA REEBESIANA	DWARF SKIMMIA	#1 POT
140	TAXUS X MEDIA 'THICKSF'	HICKS YEW	1.0M BAB
20	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT: 888
17	VEIBURNUM P.T. 'NARSISP'	NARSIS DOUBLE PINK VEIBURNUM	1.0M HT: 888
28	WEIGELA FLORIDA 'PURPUREA'	PURPLE WEIGELA	#3 POT: 60CM
80	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT: HEAVY
203	CAREX 'ICE DANCE'	FROSTED REDGE	#1 POT
599	CAREX CHRISINENSIS 'EVERGOLD'	GOLDEN VARIATED BEGGE	#1 POT
225	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
63	HELICTIDICHLOA SEMPERVIRENS	BLUE DAT GRASS	#1 POT
50	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
27	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#2 POT
223	PERNETTUM ALPICOENSES 'NARVAU'	DWARF FOUNTAIN GRASS	#1 POT
8	CLEMATIS 'TANGUTICA AUREOLIN'	TANGUTICA CLEMATIS	#2 POT: 60CM: STAKED
36	HEUCHERA MACRANTHA 'CRIMSON CURLS'	FANCY LEAVED CORAL BELLS, DEEP CRIMSON	10 CM POT
17	HOSTIA 'PATIOT'	HOSTIA GREEN AND WHITE VARIEGATED	10 CM POT
36	LIRIOPE MUSCARI	BLUE LILY TURF	10 CM POT
72	SEDUM ALBUM VAR. 'MICRANTHUM' 'CORAL CARPET'	CORAL CARPET STONECROP	10 CM POT
120	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#2 POT: 45CM
49	LOINISERA FIDATA	PRIVET KONESIBUCE	#1 POT: 20CM
68	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT: 15CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. ** SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. ** SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ** ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. ** STOCKS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ** All soft landscape areas to be irrigated with automatic installation to I.I.A.B.C. Standards, latest edition.



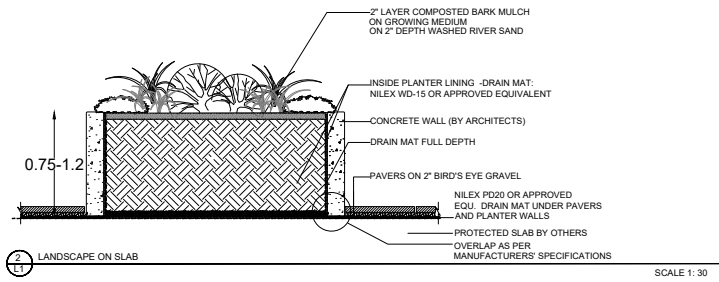
CLIENT: _____ PROJECT: _____
 WITH: _____

SEAL: _____ DATE: August 12, 2021 DRAWING NUMBER: _____
 DRAWING TITLE: LANDSCAPE ENLARGEMENT SCALE: 1:100 DRAWING DD
 DESIGN: DD CHKD: PCM

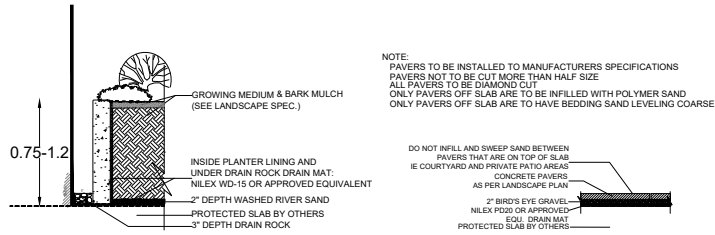
© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

NO.	DATE	REVISION DESCRIPTION	DR.

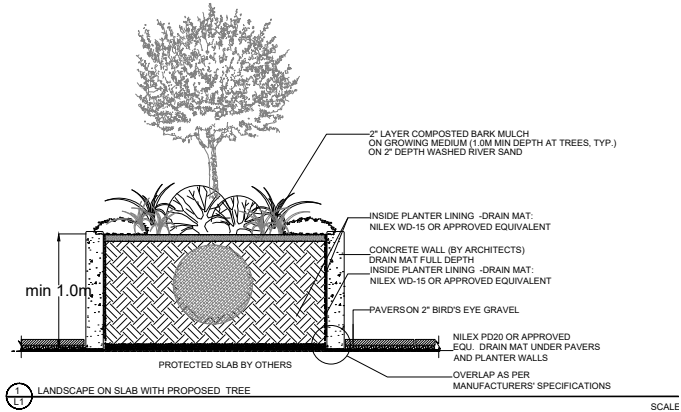
RESIDENTIAL / COMMERCIAL DEVELOPMENT
 5903 – 144TH STREET
 SURREY
 City file: _____
 DRAWING NUMBER: **L6**
 PMG PROJECT NUMBER: 21-154



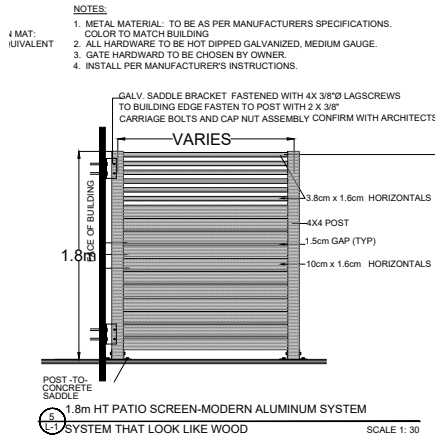
2 LANDSCAPE ON SLAB SCALE 1: 30



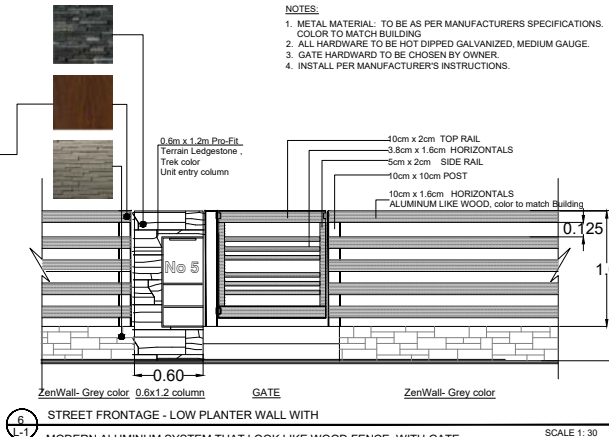
3 DRAIN STRIP ON SLAB SCALE 1: 30



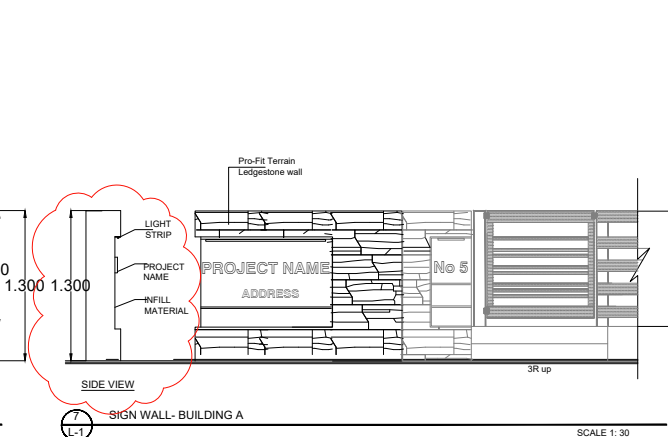
1 LANDSCAPE ON SLAB WITH PROPOSED TREE SCALE 1: 30



5 1.8m HT PATIO SCREEN-MODERN ALUMINUM SYSTEM SCALE 1: 30



6 STREET FRONTAGE - LOW PLANTER WALL WITH MODERN ALUMINUM SYSTEM THAT LOOK LIKE WOOD FENCE WITH GATE AND ENTRY DECORATIVE COLUMN SCALE 1: 30



7 SIGN WALL - BUILDING A SCALE 1: 30

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Mar 27, 2019** PROJECT FILE: **7818-0235-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5903 144 St**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.5m on 144 Street for ultimate 15.0m from center-line (Arterial Road allowance).
- Dedicate 3.0 X 3.0m corner cut at 59 Avenue and 144 Street.
- Dedicate as road (without compensation):
 - Bylaw Road (City Bylaw Number 10715) for Parcel 2 South Half of Lot C Section 9 Township 2, as shown on Plan 87473 on a road dedication or subdivision plan.
 - City Owned Road for East 7 feet of Lot C (PID 012-206-167), Section 9 Township 2, on a road dedication or subdivision plan.
- Dedicate 10.0m on 59 Avenue (half road) for ultimate 20.0m Local Road standard.
- Dedicate 3.0 X 3.0m corner cuts at 144 Street and 143 Street.
- Dedicate 10.0m on 143 Street for ultimate 20.0 m road allowance (coordinate with 17-0069 to split 20.0m at 10.0m/10.0m), or secure 1.5m SRW to achieve the 11.5m half road.
- Register 0.5m SRW along all frontage roads.

Works and Services

- Construct 1.8m concrete sidewalk on the west side of 144 Street from City funding (DCW).
- Construct 59 Avenue with ultimate 11.0m pavement width (Commercial standards).
- Construct south half of 59 Avenue from Parks funding (DCW), including driveway letdown for the Tennis Court at 5891-144 Street.
- Construct east side of 143 Street with ultimate 10.5m pavement width.
- Confirm storm drainage system downstream capacity, upgrade if required.
- Construct storm system to service the proposed development and all frontage roads.
- Provide on-site sustainable drainage works to meet the Hyland Creek Integrated Stormwater Management Plan requirements.
- Install water quality/sediment control inlet chamber as part of the on-site drainage system.
- Construct new 200mm diameter water mains along 59 Avenue and 143 Street frontages.
- Provide cash-in-lieu for future upgrading the sanitary sewer on 144 Street to a 250mm sewer main.
- Pay Sanitary Latecomers charge relative to project 5811-0044-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit, except for the requirements listed above.



Tommy Buchmann, P.Eng.
Acting Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2021, all three schools are severely overcrowded. To meet in-catchment demand, portables are in use as enrolling spaces.

June 2020, the Ministry approved design and construction funding to build a new 612-capacity elementary school; located next to the existing Goldstone Park. The new school targeted to open in 2024 will provide enrolment relief to the two neighbouring schools: Goldstone Park and Cambridge.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700-capacity addition at Sullivan Heights. The addition is currently in construction and targeted to open March 2022.

THE IMPACT ON SCHOOLS

APPLICATION #: 18 0235 00

SUMMARY

The proposed 144 lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	22
Secondary Students:	23

September 2020 Enrolment/School Capacity

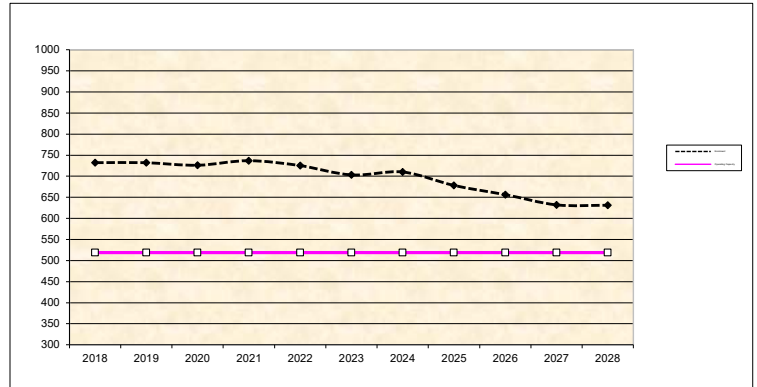
Goldstone Park Elementary	
Enrolment (K/1-7):	75 K + 651
Operating Capacity (K/1-7)	76 K + 443
Sullivan Heights Secondary	
Enrolment (8-12):	1604
Capacity (8-12):	1000
Addition Capacity (8-12) 2022:	1700

Projected population of school-age children for this development:	56
--	----

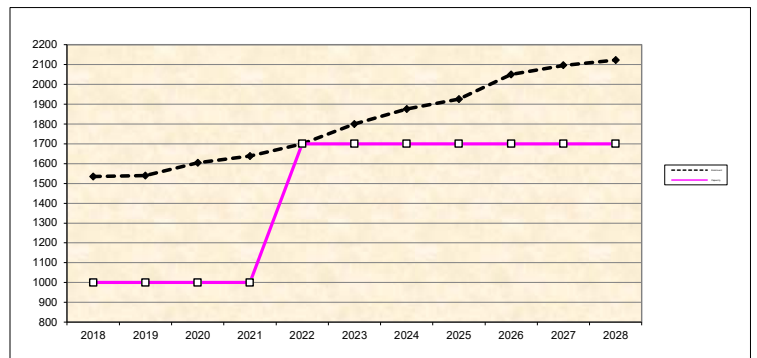
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Goldstone Park Elementary



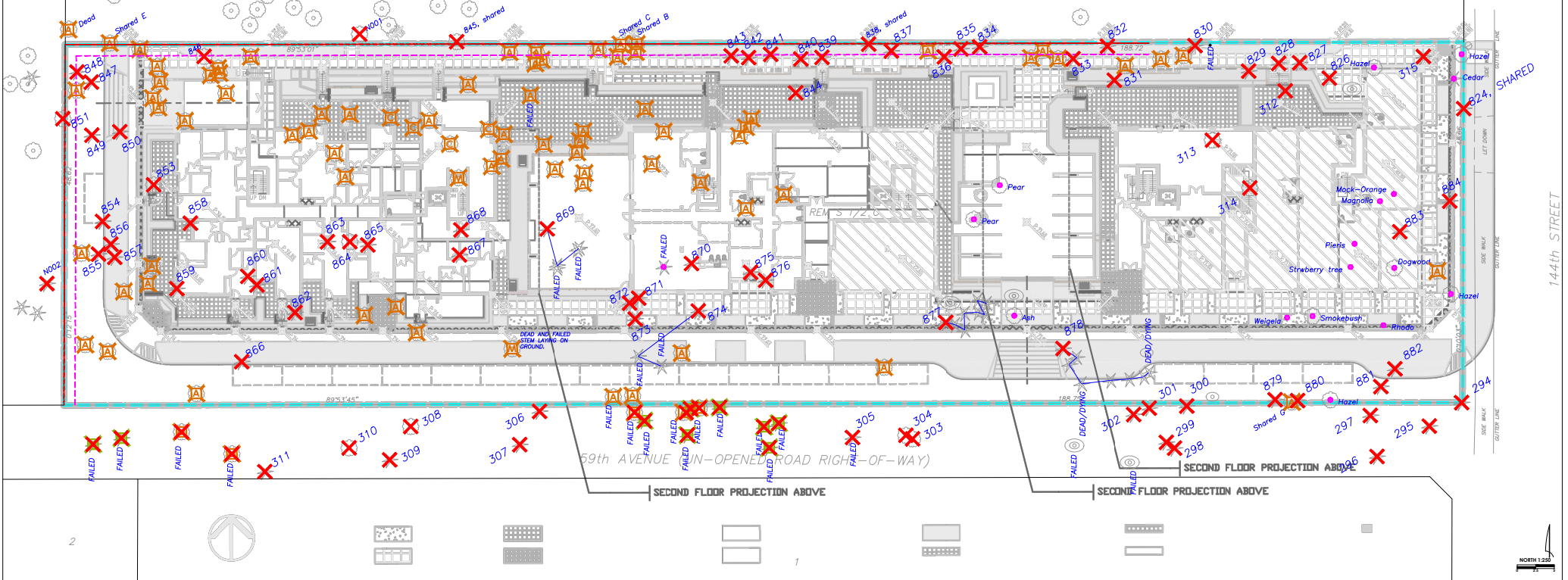
Sullivan Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

REM N 1/2 C

NOTE:
IN ADDITION TO THE NOTED OFFSITE TREES #001 AND #002, CERTAIN ADDITIONAL TREES WITHIN THE NORTH AND WEST ADJACENT PROPERTIES ALONG THE INTERFACE WITH THE PROPOSED DEVELOPMENT MAY BE IMPACTED BY THE CONSTRUCTION, AND/OR MAY POSE A RISK OF FAILURE TOWARD THE SUBJECT SITE DUE TO PRE-EXISTING DEFECTS. THIS NEIGHBOUR WILL NEED TO BE CONTACTED TO MAKE ARRANGEMENTS FOR THOSE EDGE TREES TO BE ASSESSED BY STAFF FROM THIS OFFICE SO THAT WE CAN IDENTIFY ANY TREES (IF ANY) THAT WILL NEED TO BE REMOVED OR TREATED, AND TO OBTAIN AUTHORIZATION FOR THOSE REMOVALS.



TREE MANAGEMENT DETAIL

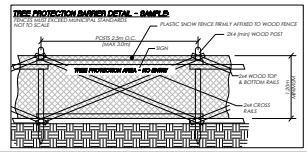
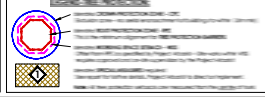


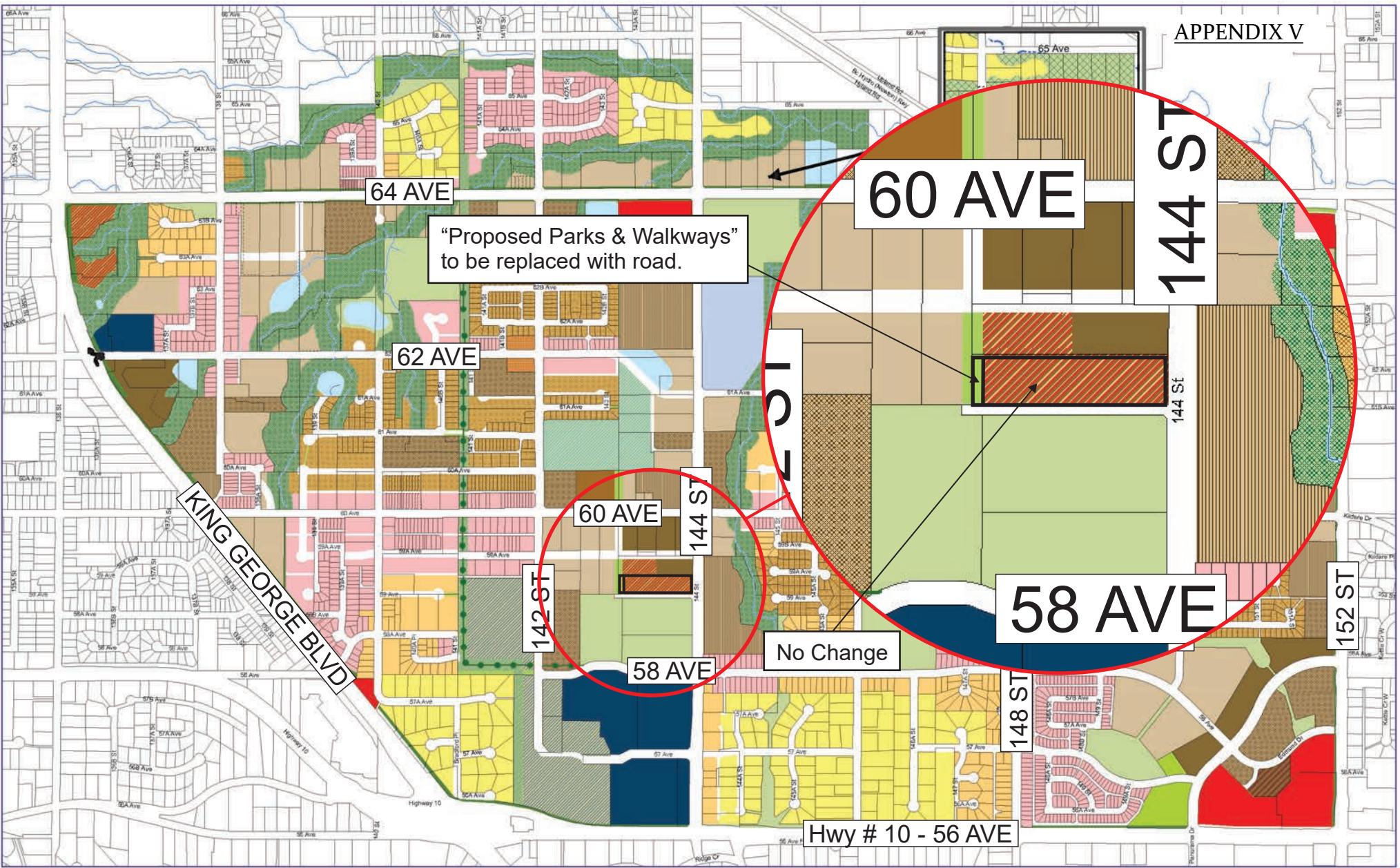
Table with multiple rows and columns, likely a schedule or list of trees and their management actions.



LEGEND - TREE MANAGEMENT IN DEVELOPMENT AREA. Includes symbols for tree status: XXX (Tree to be removed), X (Tree to be retained), etc.

Table with multiple rows and columns, likely a schedule or list of trees and their management actions.

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 2. Includes ARBORTECH CONSULTING logo and project information: PROJECT: MIXED USE DEVELOPMENT, ADDRESS: 5903 144TH ST SURREY BC, CLIENT: 1289412 BC LTD - FLAT ARCHITECTURE, CITY REF: [blank], IACIL FILE: 17385, PLOT SIZE: 22'x34', REV: #13, DATE: SEP 14, 2021.



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|-----------------------|--|-----------------|------------------------------|------------------------------|
| Apartments 45 upa max | Single Family Small Lots | Commercial | Proposed School and Park | Buffers |
| Apartments 45 upa max | Row Housing | Institutional | Parks | Detention Ponds |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 25 upa max | Single Family Residential | Industrial | Recreational | Creeks and Riparian Set-back |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Schools | Creeks and Riparian Set-back | WALKWAY |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Proposed School | | |
| | Mixed Com/Res Townhouse | | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY
HOUSING AGREEMENT
Mixed-Use

THIS HOUSING AGREEMENT made the _____ day of September, 2021.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

1259412 B.C. LTD., a corporation having its offices at 120-12888 80th Avenue, Surrey, BC V3W 3A8

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 010-206-175
South Half Lot “C” Except: Firstly: the East 7 Feet and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 16821

(the “**Lands**”);

- B. The Owner proposes to use a portion of the Lands for 3 buildings:

- 1) a four-storey apartment building;
- 2) a four-storey mixed-use apartment building; and
- 3) a five-storey mixed-use apartment building;

with approximately 860 square meters of commercial space and approximately 445 square meters of childcare space, 144 Dwelling Units, 53 of the Dwelling Units will be Rental Units and 29 of the Rental Units will be classified as Affordable

Rental Units with 20% below Market Rental Rates (the “Development”) as proposed in Appendix I – Site Plan;

- C. The Developer has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Developer (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:
- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
 - (b) “**Affordable Rental Unit**” means 29 Dwelling Units located in Building C, which will be made available for rent at 20% below Market Rental Rates within the Development that are to be used and occupied in accordance with Sections 2.1 and 2.2 of this Agreement;
 - (c) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
 - (d) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
 - (e) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
 - (f) “**Development**” means as defined in Recital B;
 - (g) “**Dwelling Unit**” means each of the 144 dwelling units to be constructed within the Development;
 - (h) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);

- (i) “**Market Rental Rate**” means the average rental rate per square foot for the Market Rental Units, as determined from time to time by the Owner;
- (j) “**Market Rental Unit**” means the 24 Rental Units that are rented at Market Rental Rates, as may be determined from time to time by the Owner and which is not an Affordable Rental Unit.
- (k) “**Owner**” means the company named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (l) “**Rental Units**” means the 53 Dwelling Units within Building C as identified on Appendix I, of which 29 are Affordable Rental Units and 24 are Market Rental Units, which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (m) “**Term**” means 25 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 Each Affordable Rental Unit shall be rented at a rate that is a minimum of 20% below the average Market Rental Rate.”
- 2.3 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.
- 2.5 This Agreement shall automatically terminate at the end of the Term and the City shall remove notice of this Agreement from title to the Lands at such time.
- 2.6 The City and the Owner agree that the restrictions on occupancy of the Dwelling Units set out in this Agreement shall not apply to other buildings located on the Lands.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. NOTICE

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

- (a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

- (b) As to the Owner:

1259412 B.C. LTD.
120 – 12888 80th Avenue
Surrey, BC V3W 3A8

Attention: Jaswinder Singh Parmar

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

- 4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered

and not mailed.

5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.
- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City with the prior written consent of the Owner.
- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.

- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on at the discretion of the Court on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
 - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
 - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent

of this Agreement.

- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.
- 5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

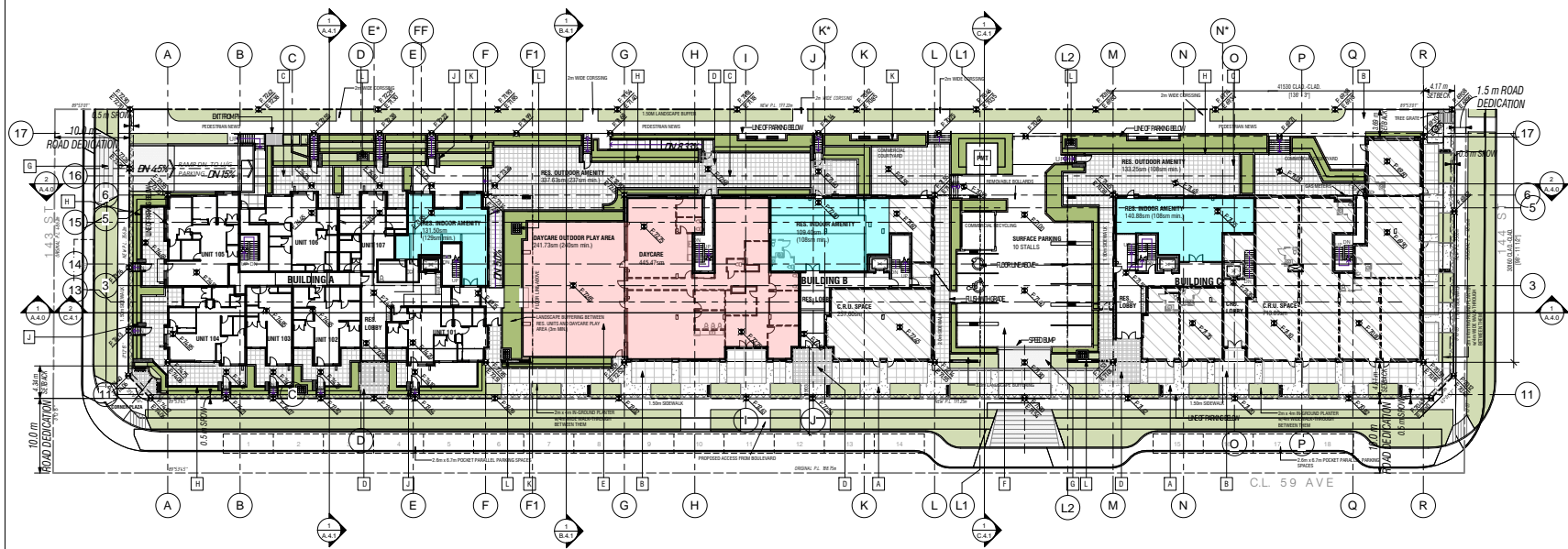
By: _____
Authorized Signatory
Doug McCallum,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk
City of Surrey

1259412 B.C. LTD.

By: _____
Authorized Signatory
Name: Jaswinder Singh Parmar
Title: President

Appendix I - Site Plan



SITE PLAN
SCALE: 1:256



LEGEND

- A [Pattern] EXPOSED AGGREGATE
- B [Pattern] SAW-CUT CONCRETE
- C [Pattern] CONCRETE PAVERS
- D [Pattern] SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E [Pattern] RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F [Pattern] CONCRETE SLAB FOR SURFACE PARKING
- G [Pattern] CONCRETE WALL FLUSH WITH GRADE
- H [Pattern] CONCRETE WALL FLUSH WITH GRADE
- I [Pattern] SPECIALTY PAVERS FOR PARKING ENTRANCE
- J [Pattern] ZENWALL CONCRETE BLOCK WALL
- K [Pattern] DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L [Symbol] PARKING VENT GRATING AT GRADE 1.2m x 0.9m

AMENITY AREA

- [Color] RESIDENTIAL AMENITY AREA
- [Color] DAY CARE AMENITY



Unit 209- 4021 King George Blvd
Burnaby BC, V2N 1C1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE	18/07/21
PROJECT NO.	20245
DRAWN BY	AJ
CHECKED BY	
SCALE	1:250

A.1.0

CITY OF SURREY

BYLAW NO. 19993

A bylaw to amend "Surrey Zoning By-law, 1993, No. 12000", as amended
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000", as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of "Surrey Zoning By-law, 1993, No. 12000", as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 010-206-175
South Half Lot C Except: Firstly: The East 7 Feet; and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 1682

(5903 - 144 Street)

(hereinafter referred to as the "Lands")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings and ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings and Ground-Oriented Multiple Unit Residential Buildings.*
- 2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross floor

area of each individual business does not exceed 370 square metres [4,000 sq. ft.]:

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
- (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
- (c) Office uses excluding *social escort services* and *methadone clinics*;
- (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
- (e) *Indoor recreational facilities*, excluding a gymnasium;
- (f) *Community service*;
- (g) *Eating establishments* excluding *drive-through restaurants*, provided that the maximum *gross floor area* of the business does not exceed 150 square metres (1,615 sq. ft.);
- (h) *Child care centres*, restricted to a maximum *gross floor area* of 445 square metres (4,790 sq. ft.); and
- (i) *Small-scale drug store provided*:
 - i. The *small-scale drug store* does not exceed a total gross floor area of 370 square metres;
 - ii. The *small-scale drug store* is an *accessory use* only to offices of medical doctors;
 - iii. There is not more than one *small-scale drug store* on the lot; and
 - iv. The *small-scale drug store* is contained in the same principal building as the medical doctors' offices.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a floor area ratio of 0.1 or a building area of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a floor area ratio of ~~1.50~~1.74 if amenities are provided in accordance with Schedule G of "Surrey Zoning By-law, 1993, No. 12000", as amended.

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder lot of the air space subdivision shall be considered as one lot for the purpose of application of Section D of this Zone, and further provided that the floor area ratio calculated from the cumulative floor areas of the buildings within all of the air space parcels and the remainder lot of the air space subdivision shall not exceed the maximum specified in Sub-section D.2(a) of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed ~~45%~~ **48%**.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		4.0 m	4.6 m	3.7 m	4.3 m
<i>Accessory Buildings and Structures</i>		[13 ft.]	[15 ft.]	[12 ft.]	[14 ft.]

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

3. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for lots created by an air space subdivision may be 0.0 metre [0 ft.].
4. Not withstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, *underground parking* may be located up to 0 metres [0 ft.] from any lot line.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

1. Principal buildings: The *building height* shall not exceed ~~14.6~~ 18.9 metres [~~48~~ ft.].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principle building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof* for the commercial use.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.

2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
4. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in "Surrey Zoning By-law, 1993, No. 12000", as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.
8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, ~~2018~~2021, No. ~~19478~~20291", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 for the residential portion and C-5 Zone for the commercial portion.
9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
10. Development permits may be required in accordance with the "Surrey Official Community Plan By-law, 2013, No. 18020", as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations

pursuant thereto including without limitation B.C. Reg 319/89/213.

12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2019, No. 19993"

PASSED FIRST READING on the 18th day of November, 2019.

PASSED SECOND READING on the 18th day of November, 2019.

PUBLIC HEARING HELD thereon on the 2nd day of December, 2019.

PASSED THIRD READING on the 2nd day of December, 2019.

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the 10th day of December, 2019.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0235-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-206-175

South Half Lot "C" Except: Firstly: The East 7 Feet; and Secondly; Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 16821

5903 - 144 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

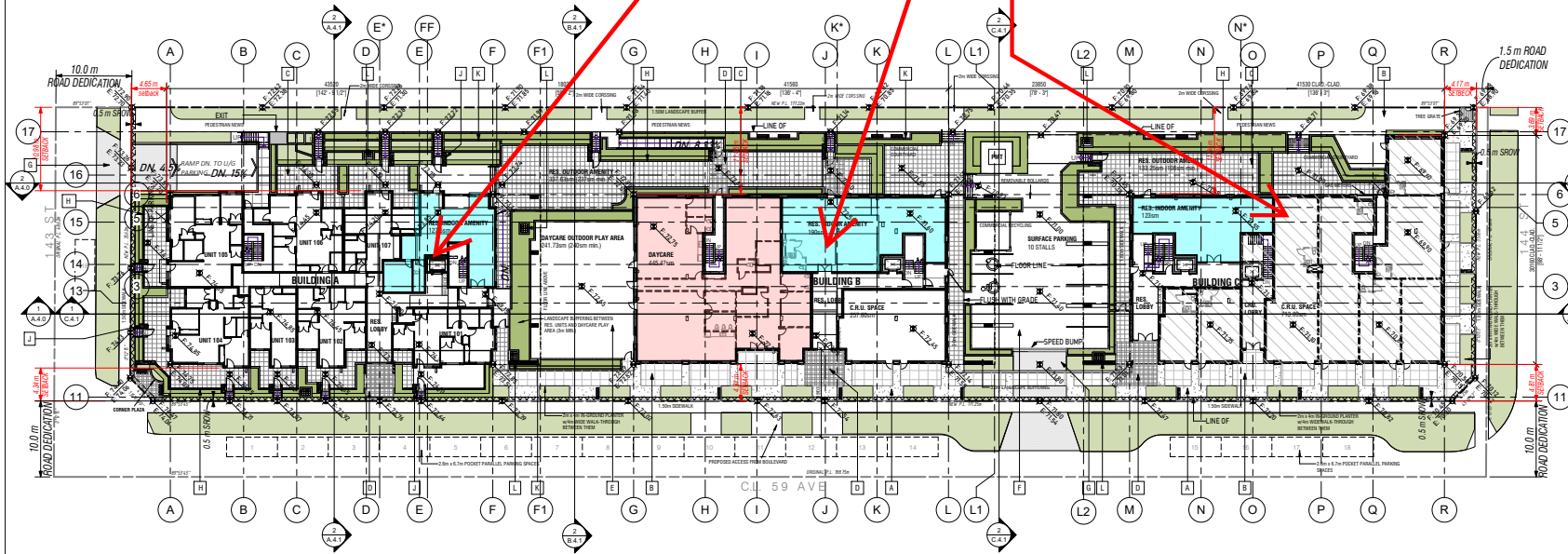
- (a) *Multiple Unit Residential Dwelling* in Table C.1 “Number of Off-Street Parking Spaces” of Part 5 “Off-Street Parking and Loading/Unloading” is varied by reducing the parking rate for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling unit with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Proposed variance to reduce the parking rate for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.



Unit 206- 4321 King George Blvd
Surrey BC V3M 1C1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4464

PROJECT INFO:
SULLIVAN STATION MIXED USE

CLIENT:
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

SITE PLAN
SCALE: 1:256



LEGEND

- A EXPOSED AGGREGATE
- B SAWN-OUT CONCRETE
- C CONCRETE PAVERS
- D SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F CONCRETE SLAB FOR SURFACE PARKING
- G CONCRETE WALL FLUSH WITH GRADE
- H CONCRETE WALL FLUSH WITH GRADE
- I ZENWALL CONCRETE BLOCK WALL
- J ZENWALL CONCRETE BLOCK WALL
- K DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L PARKING VENT GRATING AT GRADE 1.2m x 0.9m

AMENITY AREA

- RESIDENTIAL AMENITY AREA
- DAY CARE AMENITY



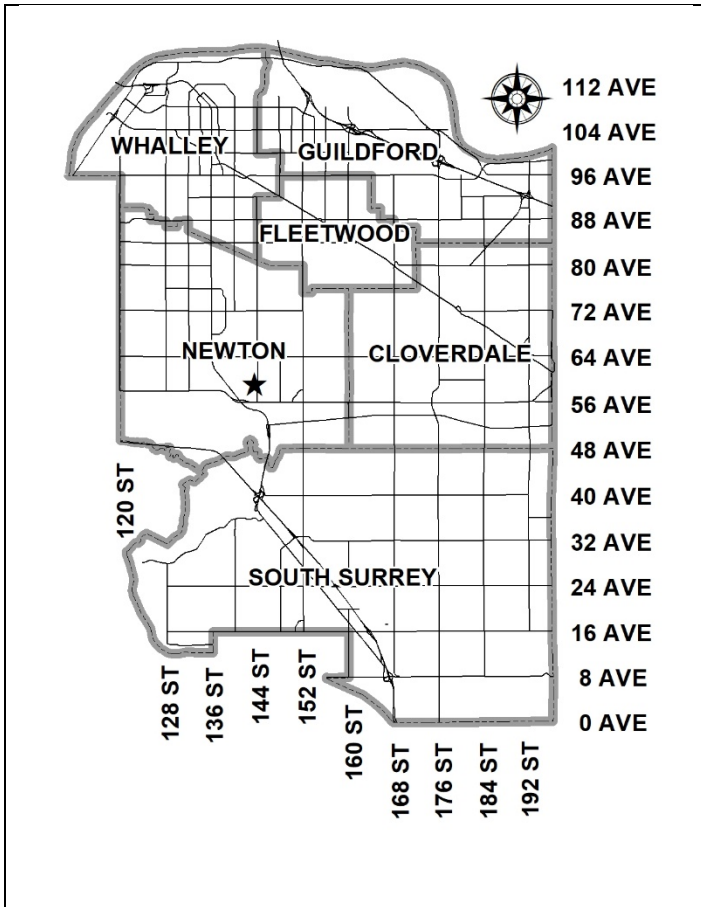
DATE: 08/07/21
PROJECT NO: 20-245
DRAWN BY: AI
CHECKED BY:
SCALE: 1:256

SITE PLAN
REV NO:

A.1.0



Planning Report Date: November 18, 2019



PROPOSAL:

- **NCP Amendment** for changes to the local road network.
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**

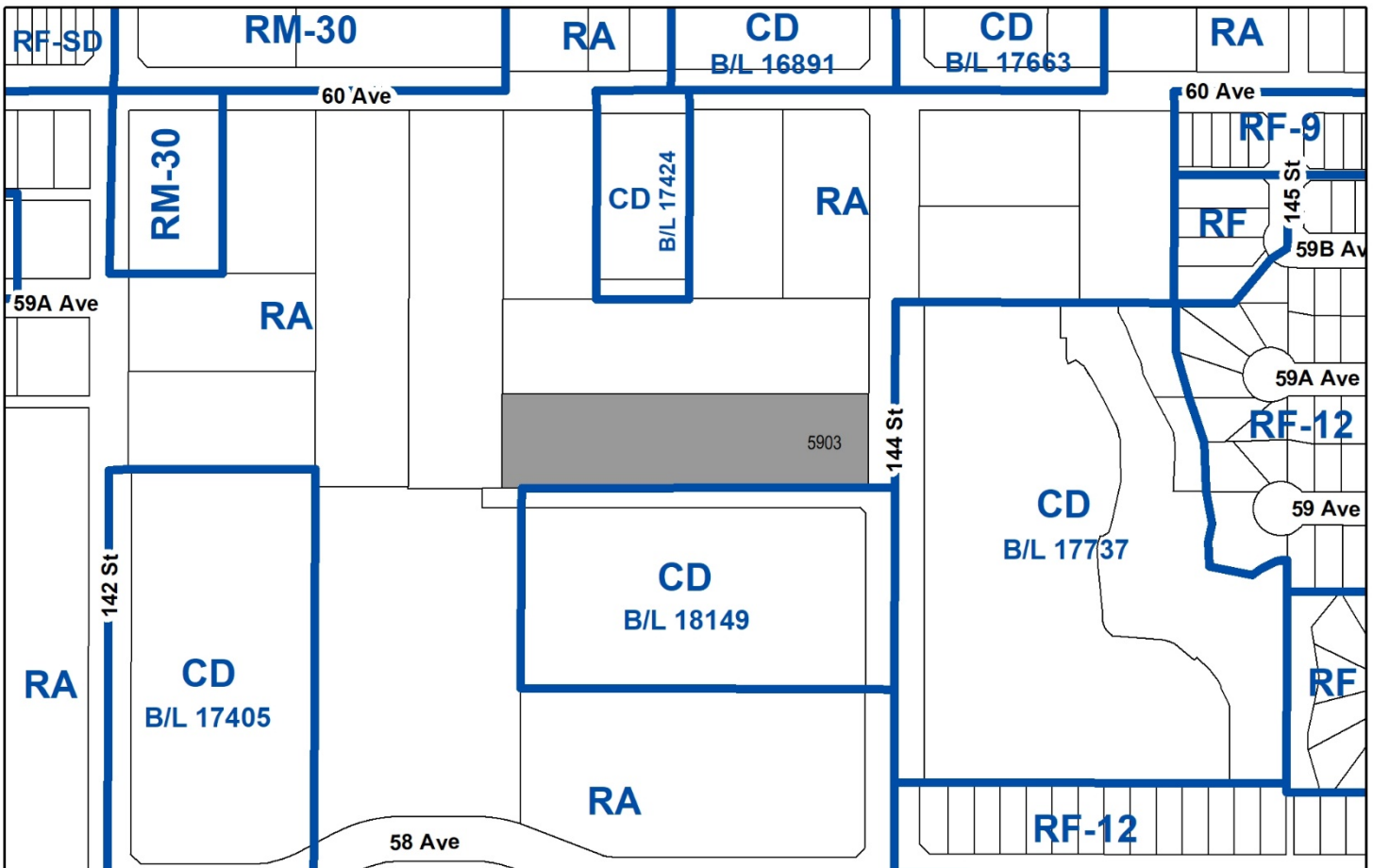
to permit the development of two 4-storey mixed-use buildings and one 4-storey apartment building consisting of 115 residential units, and 1,359 square metres (14,628 sq.ft.) of ground-floor commercial space.

LOCATION: 5903 - 144 Street

ZONING: RA

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Mixed-Commercial Residential (Apartments) and Proposed Parks & Walkways



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning; and
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network in the NCP.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's Multiple Residential designation in the Official Community Plan (OCP) designation and the sites "Mixed Use Commercial-Residential (Apartment)" designation in the South Newton NCP.
- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The proposal provides a significant public benefit with the delivery of a public road (143 Street) that connects 59A Avenue to 59 Avenue. Currently, the NCP shows this road to the north between 60 Avenue and 59A Avenue, however, this is shown as Proposed Parks and Walkways on the adjacent site. The proposed amendment is intended to improve the local road network by improving the street connectivity.
- The two mixed-use buildings and the associated commercial uses will provide amenity for local residents and for users of the adjacent park space and tennis facility.
- The building design, orientation, and material selection are of high quality and complementary to the other existing and approved buildings in the surrounding area.
- The proposed street-fronting setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the public realm. The reduced setbacks are consistent with existing or recently approved applications in South Newton.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0235-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services.
4. Council pass a resolution to amend South Newton Neighbourhood Concept Plan to amend the local road network when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

6 Elementary students at Goldstone Park Elementary School
6 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by July 2022.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

Ministry of Transportation and Infrastructure: Conditional approval granted.

SITE CHARACTERISTICS

Existing Land Use: Residential acreage lot with an existing house that is to be demolished.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single Family Residential (Currently being reviewed under Development Application No. 7918-0081-00 to allow for a 4 storey mixed-use commercial / residential building which is pre-Council)	Apartments (45 upa max), Mixed Commercial-Residential (Apartments), and Proposed Parks & Walkways	RA

Direction	Existing Use	NCP Designation	Existing Zone
East (Across 144 Street):	Multiple Family Residential	Townhouses (20 upa max)	CD (Bylaw No. 17737)
South:	City owned park with private tennis facilities	Existing & Future Parks	CD (Bylaw No. 18149)
West:	Single Family Residential (Development Application No. 7917-0069-00 to permit 39 townhouses received Third Reading on April 15, 2019).	Townhouses (15 upa max), Proposed Parks and Walkways	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The application proposes an amendment to the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network by replacing the portion of the site designated as "Proposed Parks and Walkways" with a new north-south road (143 Street, connecting 59A Avenue with 59 Avenue.)
- The Engineering Department – Transportation Division requested the amendment to the local road network as part of Development Application No. 7917-0069-00 (west of the subject site) by extending 143 Street through to the south property line, in place of the "Proposed Parks and Walkways" strip shown in the NCP. 143 Street will be constructed to a local standard with sidewalks and street trees, which will meet the intent of the walkway by providing a desirable connection. The proposed amendment is intended to improve the local road network by improving street connectivity.

DEVELOPMENT CONSIDERATIONS

Background & Context

- The 2.27 acres (0.92 hectares) subject site is located on the west side of 144 Street, south of 60 Avenue in South Newton.
- The site is designated Multiple Residential in the Official Community Plan (OCP), designated "Mixed-Use Commercial / Residential (Apartments)" and "Proposed Parks and walkways" in the South Newton NCP, and is zoned "One-Acre Residential Zone (RA)".

Current Proposal

- The applicant is proposing an NCP amendment for changes to the local road network and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development (CD)" and a Form and Character Development Permit to facilitate the development of two four-storey mixed-use buildings (Buildings B and C), and one four-storey apartment building (Building A).

- The proposed development consists of 115 residential dwelling units and 1,359 square metres (14,628 sq.ft.) of ground floor commercial space, which includes approximately 12 commercial/retail units and a 445 square metre (4,790 sq.ft.) daycare facility.
- The proposed net density for the development is 1.50 Floor Area Ratio (FAR), which complies with the maximum FAR permitted for Multiple Residential designated sites in the OCP.
- The proposed use, density, and building massing area appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands on the southwest corner of the 60 Avenue and 144 Street intersection.

Proposed CD Zone (Appendix VIII)

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed mixed-use buildings and one four-storey apartment building on the subject site. The proposed CD By-law is based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 70 Zone (RM-70)" with changes to the maximum FAR, lot coverage, setbacks, building height and permitted uses.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 and RM-70 Zones, and the proposed CD By-law is illustrated in the following table:

	C-5	RM-70	CD Zone
Net FAR	0.50	1.50	1.50
Lot Coverage	50%	33%	45%
Setbacks (principle buildings)	7.5 metres (25 ft) to all lot lines		North: 3.7 metres (12 ft.) East: 4.0 metres (13 ft.) South: 4.3 metres (14 ft.) West: 4.6 metres (15 ft.)
Principal Building Height	9.0 metres (30 ft.)	50 metres (164 ft.)	14.6 metres (48 ft.)
Permitted Uses	Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone)	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres (1,615 sq.ft.), and the childcare facility to a maximum floor area of 445 square metres (4,790 sq.ft.)

- The proposed CD By-law reduces the building setbacks along all lot lines. The proposed setbacks for the mixed-use buildings encourages a more urban streetscape consistent with other similar developments in the City.

- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 45% lot coverage that is proposed is appropriate for a 4-storey building.
- The proposed height of 14.6 metres (48 ft.) is less than the maximum building height of 50 metres (164 ft.) of the RM-70 Zone.
- The proposed CD By-law will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres (1,615 sq.ft.), and a childcare facility to a maximum floor area of 445 square metres (4,790 sq.ft.) in order to ensure that the parking requirements in the Zoning By-law can be met.

PRE-NOTIFICATION

- Pre-notification letters were sent out on August 18, 2019, and the Development Proposal Signs were installed on March 13, 2019. Staff received one response from a neighbouring resident as noted below, with the staff comments provided in italics:

The resident commented that the density should not be supported since it will result in a low-quality development which will not fit the character of the neighbourhood.

(The proposed building has been reviewed by the City Architect in conjunction with the Official Community Plan Development Permit Guidelines for Form and Character, the urban design guidelines within the South Newton Neighbourhood Concept Plan, and has been reviewed by the Advisory Design Panel. The applicants have addressed staff comments and ADP comments adequately).

The area resident also expressed concern about the impacts related to school capacity.

(The proposed development has projected 6 elementary school students and 6 secondary school students. On the 2020/2021 5-year Capital Plan, the School District is requesting a new 655 capacity elementary school to address the overcrowding in the South Newton area. Furthermore, the Ministry of Education has approved funding for design and construction of a 700-capacity addition at Sullivan Heights which is targeted to open September 2021.)

Public Art Policy

- The applicant will be required to provide Public Art in accordance with the City's Public Art Policy requirements. To facilitate this the applicant will be required to register a Restrictive Covenant on the title of the property requiring this requirement to be resolved prior to a Building Permit being issued on the property.

Affordable Housing Strategy

- On April 9, 2018 Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing project.
- As a condition of Final Adoption of the Rezoning By-law, the applicant will be required to provide a \$115,000 contribution to the Affordable Housing Reserve Fund.

DESIGN PROPOSAL AND REVIEW

- The proposed development consists of two 4-storey mixed-use buildings (Building B and C) and one 4-storey apartment building (Building A) comprised of 115 residential dwelling units and 1,359 square metres (14,628 sq.ft.) of ground floor commercial space, which includes a 445 square metre (4,790 sq.ft.) daycare facility.
- The buildings are organized on the site to make pedestrian access safe and interesting while accommodating convenient parking for the proposed retail units within Buildings B and C.
- The frontages of the mixed-use buildings will consist of approximately 12 ground floor commercial retail units (CRU) oriented towards 144 Street and the future 59 Avenue. The CRUs are anticipated to range in size from 46 square metres (495 sq.ft.) to 143 square metres (1,539 sq.ft.). The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application.
- The proposed residential dwelling units range from 44 square metres (474 sq.ft.) to 102 square metres (1,098 sq.ft.), and are comprised of forty-six 1-bedroom, nine 1-bedroom plus den, forty-six 2 bedroom and twelve 2-bedroom plus den and two 3-bedroom units.
- The buildings have a simple form with a variety of window arrangement and material pattern to create interest. Its expression is consistent with other existing and approved development applications in South Newton.
- The building materials includes fibre-cement hardie panels (in flat, ivory white, light grey and charcoal colours), aluminum panels (in eggshell white), and accent brick (in grey, brown and charcoal colours). The commercial retail unit fronts are mostly store-front glazing, accent with opaque brickwork and highlight columns and/or walls between the glazing.

Vehicle Access & Parking

- Vehicle access is provided from the future 143 Street west of Building A and from the future 59 Avenue along the south property line between Building B and C.
- The majority of the required parking spaces for the buildings are located within the proposed self-contained, underground parking garage, which is accessed via the parking ramp on future 143 Street. An additional 10 commercial parking spaces are provided at grade between Building B and C.

- The Zoning By-law requires a total of 185 residential parking spaces (162 residents, 23 visitors), and 74 commercial parking spaces in the proposed mixed-use buildings, respectively. The applicant proposes a total of 190 residential parking spaces (167 residential parking spaces, 23 visitor spaces) and 74 commercial parking spaces, respectively, exceeding the Zoning By-law requirement.
- In addition, the development will provide a total of 158 bicycle parking spaces, including 140 secure residential bicycle parking spaces and 18 visitor bicycle parking spaces. This meets the minimum required in the Zoning By-law.

Amenity Space

- Based upon the standard Zoning By-law requirement of 3.0 metres (32 sq.ft.) per dwelling unit for indoor and outdoor amenity space, the proposed development requires 345 square metres (3,714 sq.ft.) of indoor and outdoor amenity space.
- The proposed 385 square metres (4,144 sq.ft.) of indoor amenity exceeds the requirements of the Zoning By-law. The indoor amenity spaces, which will serve the residents of the mixed-use buildings, are located on the main floor of Buildings A, B and C. The indoor amenity space consists of a kitchen and recreation rooms which can be programmed in a variety of ways to meet the needs of the residents.
- The proposed 447 square metres (4,811 sq.ft.) of outdoor amenity exceeds the requirement of the Zoning By-law. The outdoor amenity spaces are located adjacent to the indoor amenity rooms, and include outdoor seating areas, a ping-pong table and a children's play area.

Landscaping

- The landscape plan proposes a total of 117 trees to be planted throughout the subject site including coniferous and deciduous trees.
- A significant number of shrubs and ground cover species are proposed throughout the subject site.
- A corner plaza is located at the future intersection of 59 Avenue and 143 Street and provides benches for seating and in-ground planters. The character of the plaza will comply with the public realm guidelines for South Newton.
- The applicant is proposing a 1.5 metre (5 ft.) wide landscape buffer along the entire length of the north property line, which will consist of a pedestrian mews comprised of a 1.5 metre wide walkway located on the property line. The adjacent development application to the north (Development Application No. 7918-0081-00 which is currently pre-Council) will coordinate with the subject development and provide an additional 1.5 metre (5 ft.) wide landscape buffer along the entire length of their south property line. Once both applications are complete, a combined 4.5 metre pedestrian mews and landscape buffer will be provided between both sites.

TREES

- Norman Hol, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	75	75	0
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	6	6	0
European Birch	1	1	0
Bitter Cherry	1	1	0
Cherry	2	2	0
Zelkova	1	1	0
Coniferous Trees			
Douglas Fir	7	7	0
Western Red Cedar	77	77	0
Total (excluding Alder and Cottonwood Trees)	95	95	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		117	
Total Retained and Replacement Trees		117	
Contribution to the Green City Fund		\$47,200	

- The Arborist Assessment states that there is a total of 95 protected trees on the site, excluding Alder and Cottonwood trees. 79 existing trees, approximately 45% of the total trees on the site, are Alder and Cottonwood trees. It was determined that none of the existing trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, underground parking, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 269 replacement trees on the site. Since only 117 replacement trees can be accommodated on the site, the deficit of 152 replacement trees will require a cash-in-lieu payment of \$60,800, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- The new trees on the site will consist of a variety of trees including Japanese Maple, Weeping Nootka Cypress, Pink Kousa Dogwood, Autumn Gold Maidenhair, Pink Star Magnolia, Serbian Spruce, Japanese Stewartia and Japanese Snowbell.
- In summary, a total of 117 trees are proposed to be replaced on the site with a contribution of \$60,800 to the Green City Fund.

ADVISORY DESIGN PANEL

The application was considered by the Advisory Design Panel (ADP) at their meeting on August 8, 2019. The comments received were primarily related to site, form and character, landscaping, sustainability and accessibility. The applicant has resolved the outstanding items from the ADP review to the satisfaction of the City Architect (Appendix VI).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments
Appendix VII.	NCP Plan
Appendix VIII.	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HS/cm

DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: CD

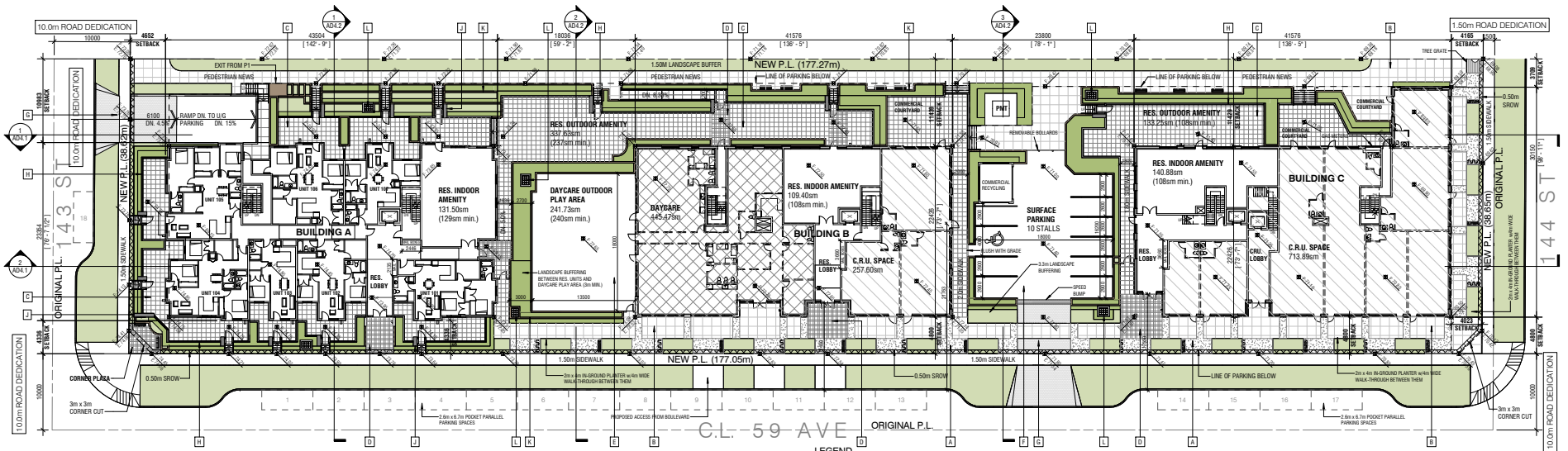
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,188
Road Widening area		2,342
Undevelopable area		6,846
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	33%	45%
SETBACKS (in metres)		
North	7.5 m	3.7 m
South	7.5 m	4.3 m
East	7.5 m	4.0 m
West	7.5 m	4.6 m
BUILDING HEIGHT (in metres/storeys)		
Principal	50.0 m	14.6 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		55
Two Bedroom		58
Three Bedroom +		2
Total		115
FLOOR AREA: Residential		9,092
FLOOR AREA: Commercial		
Retail		913
Daycare		445
Total		1,413
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		10,268

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.5	1.5
FAR (net)	1.5	1.5
AMENITY SPACE (area in square metres)		
Indoor	345	385
Outdoor	345	447
PARKING (number of stalls)		
Commercial	74	74
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed	72	77
3-Bed	90	90
Residential Visitors	23	23
Institutional		
Total Number of Parking Spaces	259	264
Number of accessible stalls		8
Number of small cars		69
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



SITE PLAN

LEGEND

- A EXPOSED AGGREGATE
- B SAW-CUT CONCRETE
- C CONCRETE PAVERS
- D SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E CONCRETE SLAB FOR SURFACE PARKING
- F RUBBER TILE SAFETY ZONE FOR PLAY AREA
- G SPECIALTY PAVERS FOR PARKING ENTRANCE
- H CONCRETE WALL FLUSH WITH GRADE
- I CONCRETE BLOCK WALL
- J ZENWALL
- K RECREATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L PARKING VENT GRATING AT GRADE 1.2m x 0.9m

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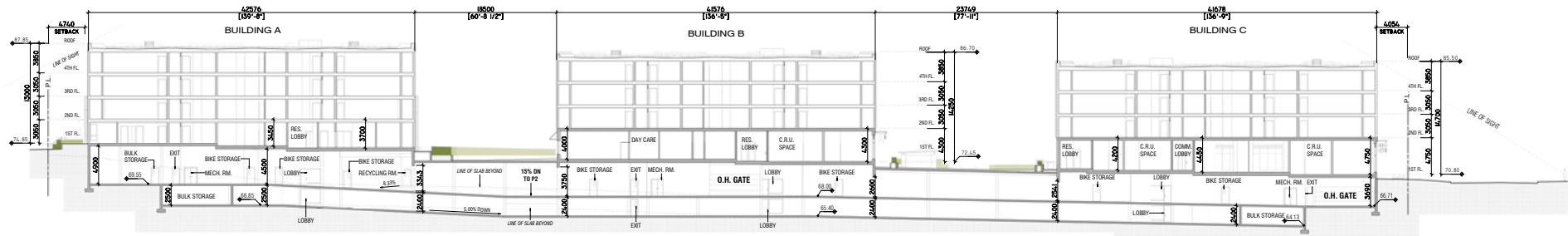
No.	Date	Revision
4	2019-9-12	ADP Revision
3	2019-8-8	Submission to ADP
2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

Consultants	Project Title
Landscape P&O Landscape architects #150-4185 888 Cook Drive Burnaby, BC V5G 0G9 Tel: 604-294-0011 Email: Pats@pandlandscape.com	Structural P&B Structural Engineering Min Park, P. Eng. #214-644 Cyclops Ave West Vancouver, BC V7V1C5 Tel: 778-878-7221 Email: mp@pbengineering.ca
Electrical Zylatic Inc. George Fan, P. Eng. #230-3771 Jaconita Rd Richmond, BC V6V2L9 Tel: 778-704-8628 Email: george.fan@zylatic.com	Mechanical XT Engineering Ltd. Tai, Xiangyang, P. Eng. #230-3771 Jaconita Rd Richmond, BC V6V2L9 Tel: 778-704-8628 Email: tai@xtengineering.com
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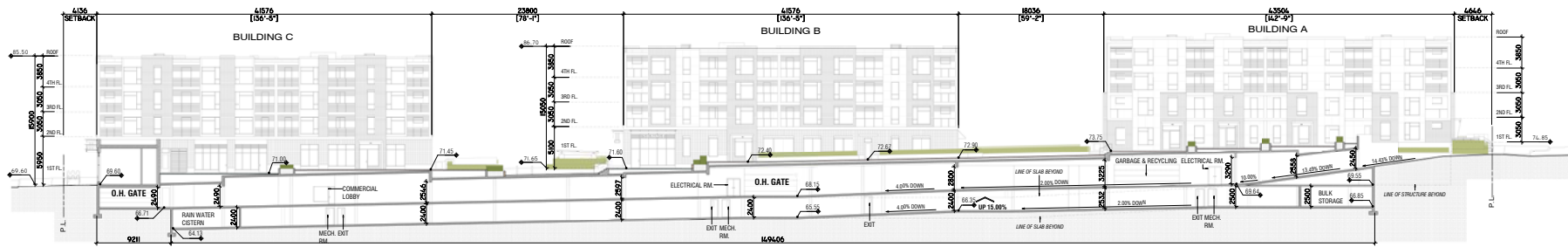
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SULLIVAN STATION MIXED USE
 5903 144 STREET

Sheet Title
SITE PLAN

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LONGITUDINAL SECTION 1



LONGITUDINAL SECTION 2



IMAGE OF SECURITY O.H. PARKING GATE (TYP.)

HIGH QUALITY STEEL MULTI-SECTIONAL OVERHEAD GATE AT ALL PARKING SECURITY POINTS



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1	2019-1-10	DP Submission

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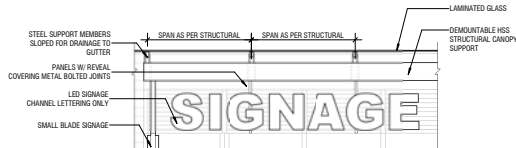
Civil: H+Y Engineering Ltd.
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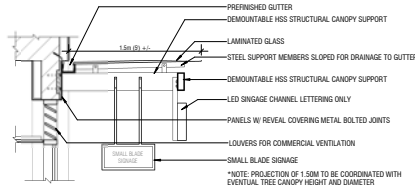
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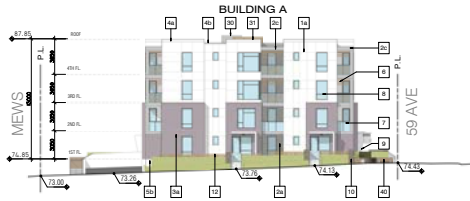
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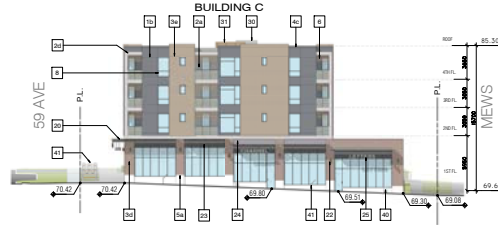
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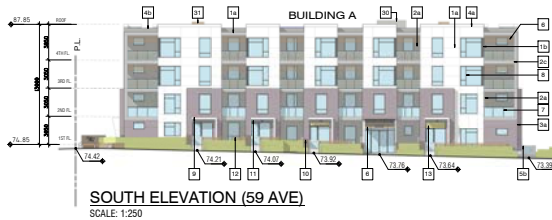
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|---|--|--|-------------------------------------|--|
| 1A ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH | 2A FACE BRICK, REDDISH BROWN-VINTAGE | 3A PAINTED CONCRETE, LIGHT GREY | 11 ENTRANCE SIGNAL, BLACK | 23 COMMERCIAL SIGNAL, CHANNEL LETTERING ONLY |
| 1B ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH | 2B FACE BRICK, MEDIUM GREY-REDONDO | 3B EXPOSED CONCRETE W/ REVEALS | 12 ALUMINUM FENCE, SIMULATED WOOD | 24 SMALL BLADE SIGNAGE |
| 1C ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH | 2C FACE BRICK, BUSHY CHARCOAL-COAL CREEK | 4 CONCRETE BLOCK WALL, ZENITH, GREY | 13 FROSTED GLASS, GOLDEN YELLOW | 25 ELEVATOR SHAFT DOG HOUSE |
| 2A HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, BEISE | 2B FACE BRICK, DARK BROWN-EBONY | 5 SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM | 20 METAL & GLASS AWNINGS | 27 AIR HANDLING UNITS |
| 2B HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, BEISE | 2C FACE BRICK, CREAM BROWN-TAN TERRA | 7 GLASS RAILING | 21 FABRIC AWNINGS | 28 BENCHES |
| 2C HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH | 2A ROOF FLASHING, WHITE | 8 VINYL WINDOWS, CHARCOAL GREY | 22 CYLINDRICAL LP & DOWN WALL LIGHT | 29 BIKE RACKS |
| 2D HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, MOBY WHITE, MATTE FINISH | 2B ROOF FLASHING, LIGHT GREY | 9 ENTRANCE FRAME, WHITE | 25 INTEGRATED COMMERCIAL LOUVERS | 30 COMMERCIAL DUMPSTER SHED |
| | 2C ROOF FLASHING, CHARCOAL | 10 ENTRANCE POST, SIMULATED LEDGESTONE | 26 PANELS W/ REVEAL, CHARCOAL | 31 ALUMINUM GAS METRES SCREENING, CHARCOAL |



BUILDING A WEST ELEVATION (143 ST)
SCALE: 1:250



BUILDING C EAST ELEVATION (144 ST)
SCALE: 1:250



SOUTH ELEVATION (59 AVE)
SCALE: 1:250



NORTH ELEVATION
SCALE: 1:250



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3	2019-8-8	Submission to ADP
2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

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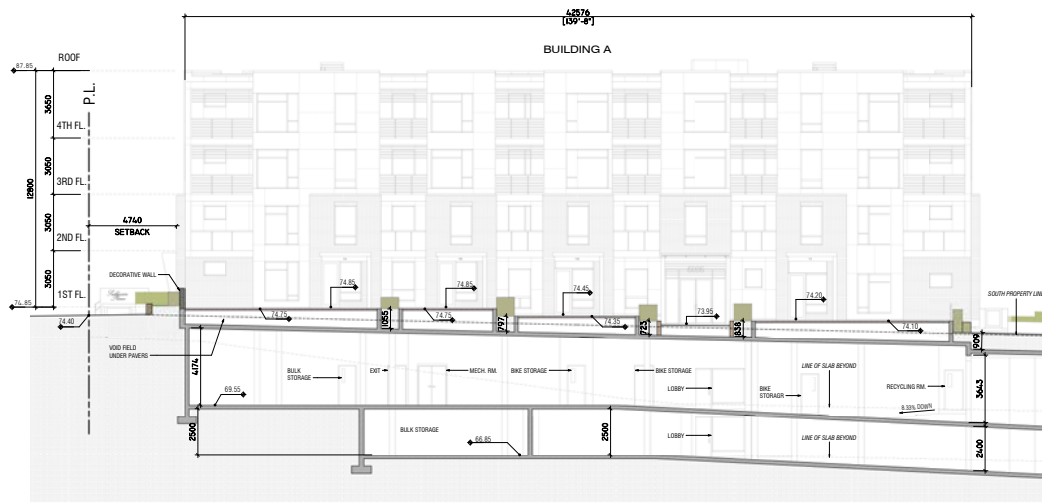
Civil: H Y Engineering Ltd.
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Project Title
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5903 144 STREET

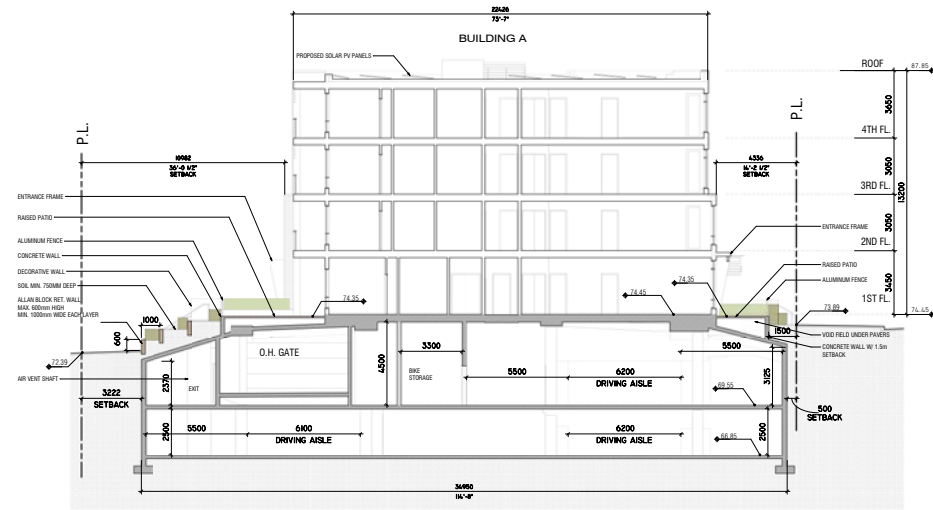
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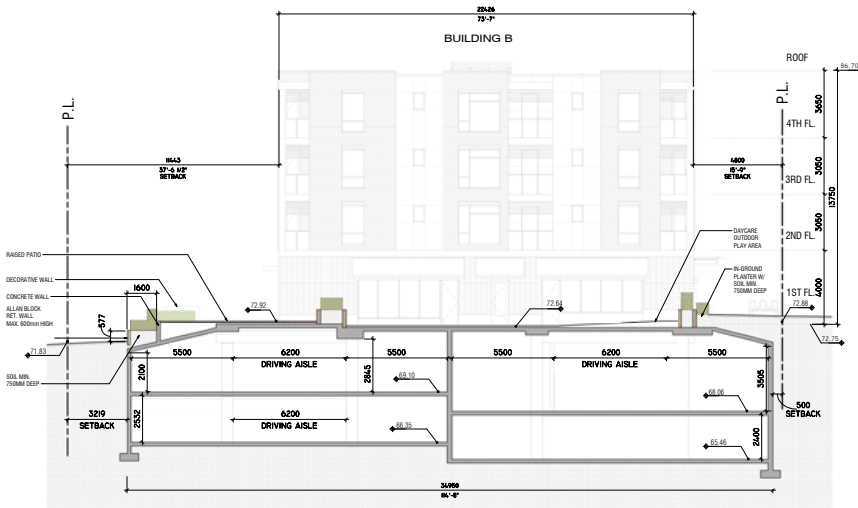
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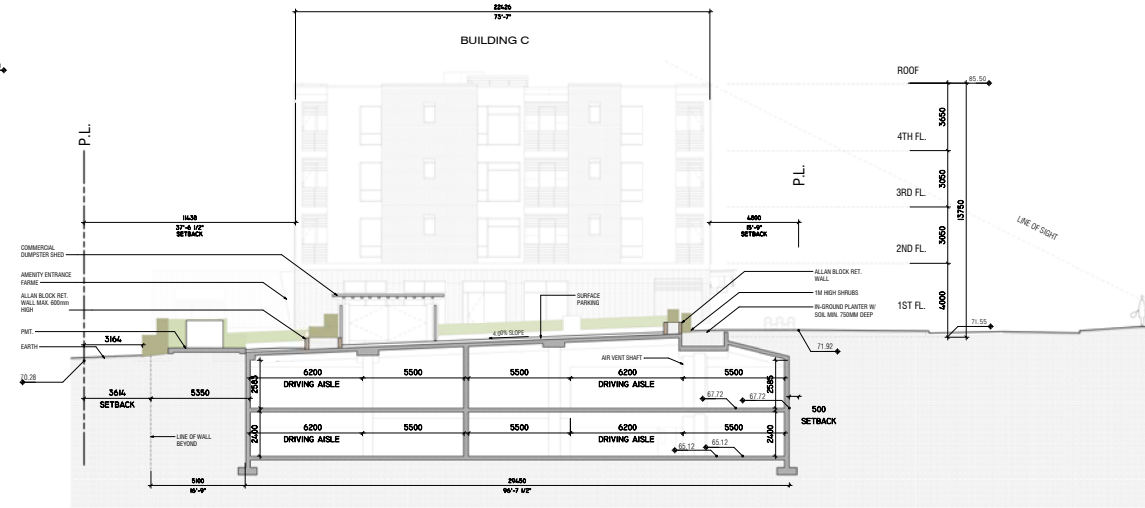
LONGITUDINAL SECTION 3 (BUILDING A)



CROSS SECTION A



CROSS SECTION B



CROSS SECTION C



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4	2019-9-7	P-Revision
3	2019-8-8	Submission to ADP
2	2019-5-3	P-Revision
1	2019-1-7	P-Submission

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Project Title
SULLIVAN STATION MIXED USE
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FRONT ELEVATION ALONG 59TH AVENUE



REAR ELEVATION AND PEDESTRIAN MEWS

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LOOKING NORTH-EASTWARD FROM 59 AVENUE
(AT SOUTHWEST OF BUILDING B)



LOOKING NORTH-WESTWARD FROM 144 STREET & 59 AVENUE INTERSECTION



SURFACE PARKING AND PEDESTRIAN MEWS
(BETWEEN BUILDING B AND C)



PEDESTRIAN MEWS (AT THE BACK OF BUILDING A)



PARKING ENTRANCE AT 143 ST



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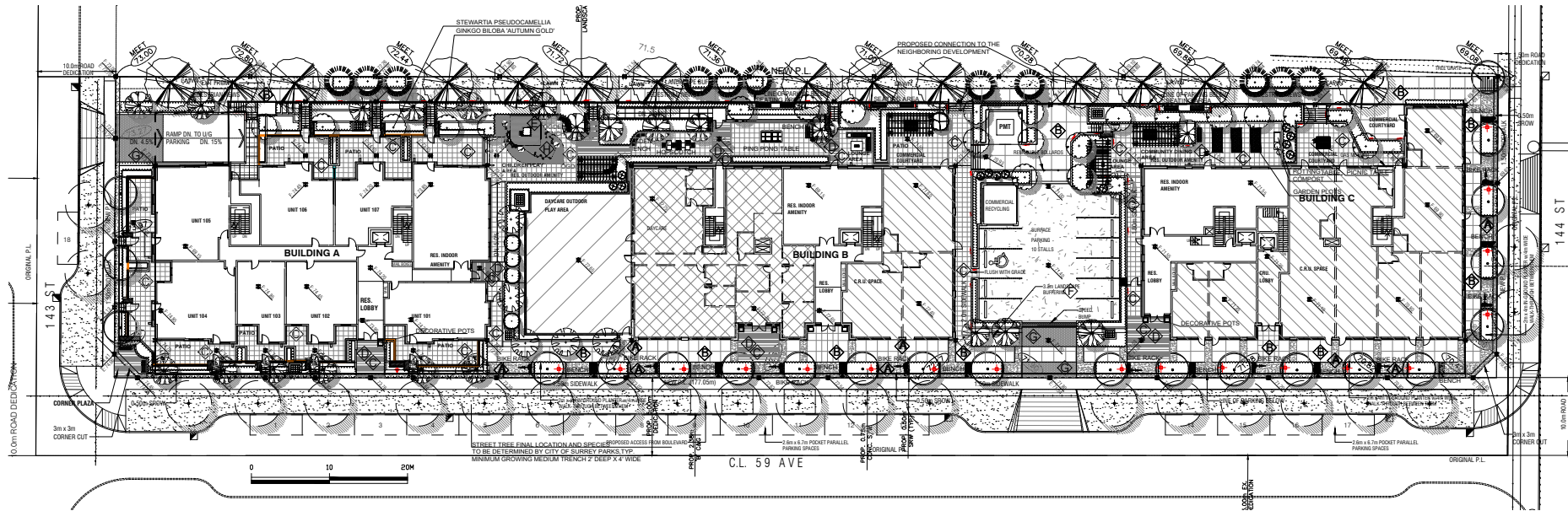
Consultants	Project Title
Landscape P&O Landscape architects #1-500-4185-888 Cook Drive Burnaby, BC V5C 0G9 Email: P&O@p&olandscape.com	Structural M&B Structural Engineering Min Park, P. Eng. 4314-504 Cook Ave West Vancouver, BC V7V 1C5 Tel: 778-686-7201 Email: m.park@p&mbeng.ca
Electrical Zakaria Inc. George Fan, P. Eng. #230-3771 Joncoria Rd Richmond, BC V6V 0L9 Tel: 778-736-8628 Email: george.fan@zyakinc.com	Mechanical XT Engineering Ltd. Tai, Xinyang, P. Eng. #238-3771 Joncoria Rd Richmond, BC V6V 0L9 Tel: 778-736-8628 Email: tai@xtengineering.com
Arboreal/Cultural Arboreal Consulting Group Ltd. #146-12051 Hazelwood Way Richmond, BC V6V 4V4 Tel: 604-275-3484 Email: tree@arborealgroup.ca	Civil H Y Engineering Ltd. #500-928 150th St Surrey, BC V3R 4E7 Tel: 604-665-1737 Email: inquiries@hyengineering.com

Project Title	SULLIVAN STATION MIXED USE
5903 144 STREET	

Sheet Title	PERSPECTIVES
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A-1.2	



PLANT SCHEDULE

PMG PROJECT NUMBER: 18-212				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	6	ACER PALMATUM	JAPANESE MAPLE	5CM CAL. B&B
	16	CHAMAECYPARIS N. "VAN DEN AKKER"	WEeping NOOTKA CYPRESS	3M HT. B&B
	6	CORNUS KOUSA "SATOMI"	PINK KOUSA DOGWOOD	5CM CAL. B&B
	14	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	5CM CAL. 2M STD. B&B
	20	MAGNOLIA KOBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. B&B
	4	PICEA ABIES 'CUPRESSINA'	COLUMBIAN NORWAY SPRUCE	3M HT. B&B
	11	PICEA OMORIKA	SERBIAN SPRUCE	3M HT. B&B
	18	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL. 1.5M STD. B&B
	22	STYRAX JAPONICUS	JAPANESE SNOWBELL	5CM CAL. B&B

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NOTE:
- All soft landscape areas to be irrigated with automatic installation to I.L.A.B.C. Standards, latest edition.

PLANT SCHEDULE

PMG PROJECT NUMBER: 18-212				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	22	STREET TREE	TYPE AND LOCATION BY CITY	6CM CAL. B&B

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PAVER LEGEND

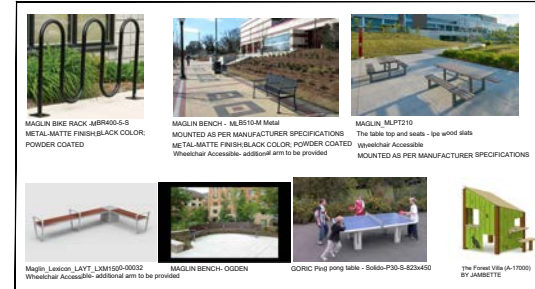
	EXPOSED AGGREGATE
	SAW-CUT CONCRETE
	2x2' 2x1' Vancouver Bay Architectural Slabs COLOR: GREY; BY MUTUAL MATERIALS
	2x1' Vancouver Bay Architectural Slabs COLOR: CHARCOAL; BY MUTUAL MATERIALS
	RUBBER TILE SAFETY ZONE SURFACE FOR PLAY AREA
	CONCRETE SLAB BY OTHER
	HOLLAND PAVERS HERRINGBONE PATTERN, CASCADE BLEND; BY MUTUAL MATERIALS
	FIBER

SITE FURNITURE LEGEND

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/3RD MIN. 24" & MAX. 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE
	PING PONG TABLE
	FIBERGLASS DECORATIVE PLANTER

LIGHTING LEGEND

	UPLIGHTING
	BOLLARD LIGHT
	STEP LIGHT



CLIENT: HARZAND DEVELOPERS INC. (BC 1806564)
WITH: KENNETH KM ARCHITECTURE INC.

PROJECT:

SCALE:

DRAWING TITLE:

18-212-S.PP

DATE: November 30, 2018 DRAWING NUMBER:

SCALE: 1:250

DRAWN: DD

DESIGN: DD

CHK'D: PCM

DRAWING NUMBER:



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Burnaby, British Columbia, V5C 6G9
P: 604 294-0011 F: 604 294-0022

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NO.	DATE	REVISION DESCRIPTION	DR.
6	15 SEP 09	NEW SITE PLAN	DD
5	19 JUL 06	SUBMISSION TO ADP	DD
4	29 JUL 07	REVISION AS PER CITY COMMENTS	DD
3	15 MAR 09	NEW SITE PLAN	DD
2	15 MAR 09	NEW SITE PLAN	DD
1	19 FEB 09	REVISION AS PER CITY REQUEST	DD

RESIDENTIAL / COMMERCIAL
DEVELOPMENT
5903 - 144TH STREET
SURREY

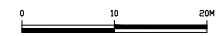
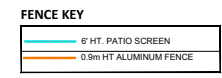
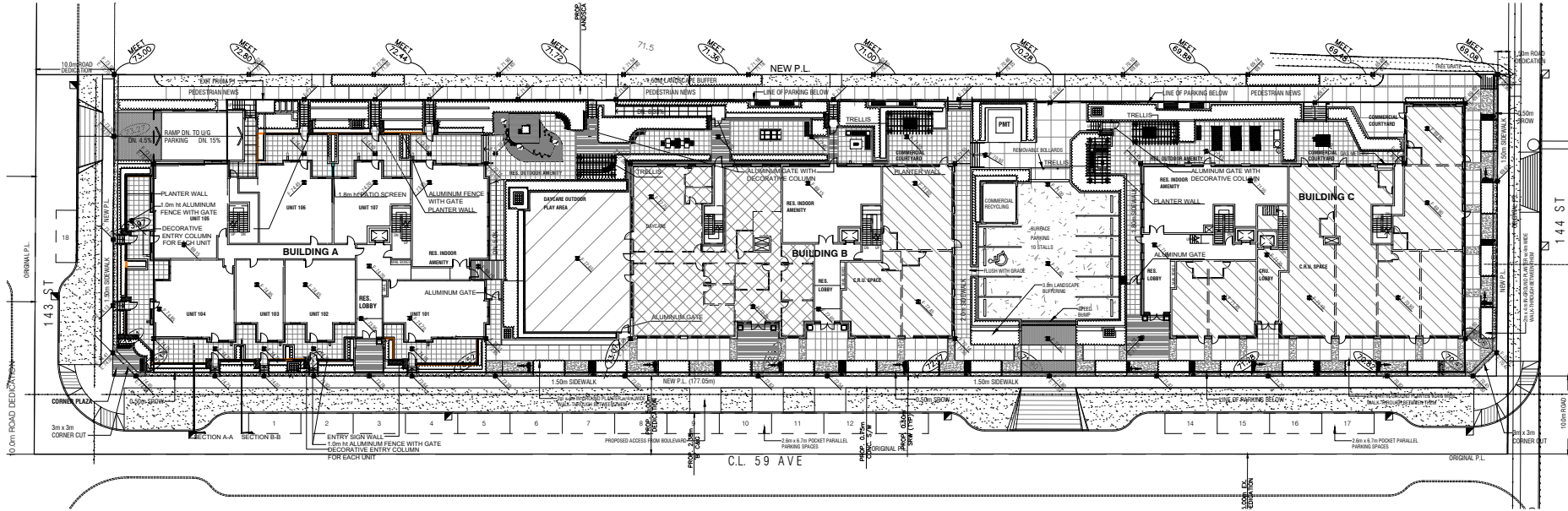
City file: 18-1235-00

**STREET TREE
PLAN**

L1
PMG PROJECT NUMBER:

OF 6

18-212



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CLIENT: HARZAND DEVELOPERS INC. (BC 1080564)
WITH: KENNETH KM ARCHITECTURE INC.

NO.	DATE	REVISION DESCRIPTION	DR.
6	10 SEP 08	NEW SITE PLAN	DD
5	18 JUL 08	SUBMISSION TO ASP	DD
4	22 JUN 07	REVISION AS PER CITY COMMENTS	DD
3	19 MAY 07	NEW SITE PLAN	DD
2	18 MAY 07	NEW SITE PLAN	DD
1	19 FEB 07	REVISION AS PER CITY REQUEST	DD

PROJECT:

RESIDENTIAL / COMMERCIAL
DEVELOPMENT
5903 - 144TH STREET
SURREY

City file: 18-1235-00

SCALE:

DRAWING TITLE:

FENCE AND GRADING
PLAN

DATE: November 30, 2018 DRAWING NUMBER:

SCALE: 1:250

DRAWN: DD

DESIGN: DD

CHKD: PCM

DRAWING NUMBER:

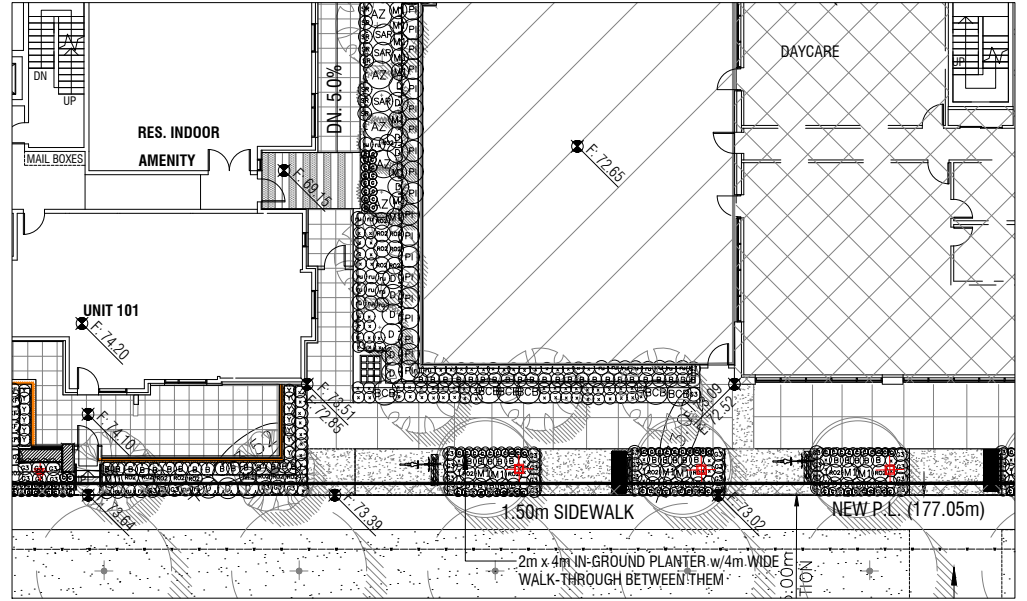
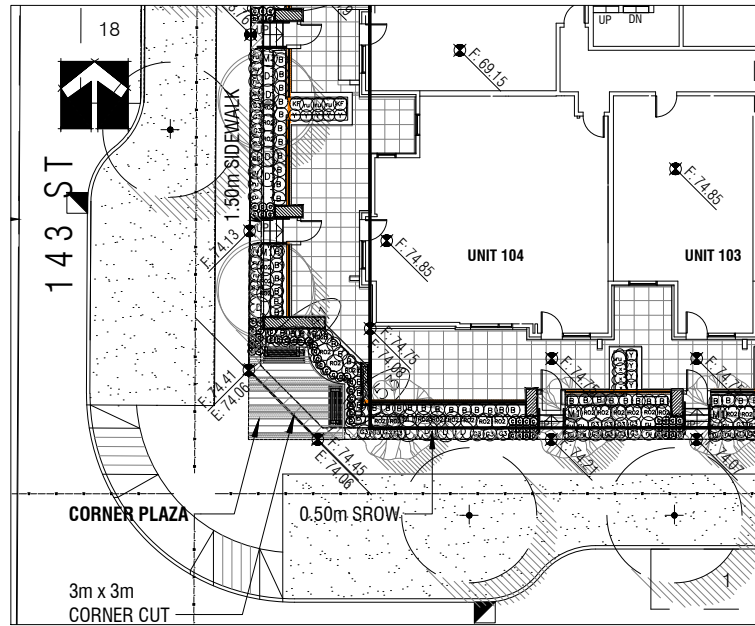
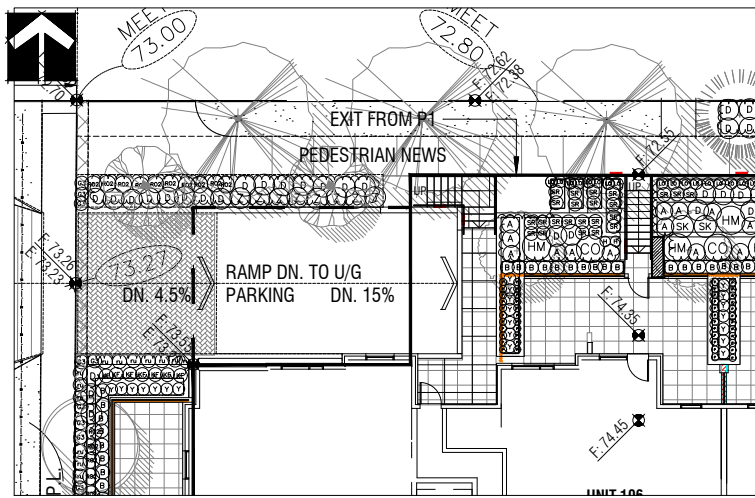
L2

PMG PROJECT NUMBER:

18212-5.2P

OF 6

18-212



PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB			
(B)	BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	#2 POT
(B)	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(B)	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(B)	PIERIS JAPONICA 'FOREST FLAME'	PIERIS, WHITE BLOOMS	#3 POT; 50CM
(B)	PRUNUS LAUROCERASUS 'ZABELIANA'	ZABLE'S LAUREL	#2 POT; 30CM
(B)	RHODODENDRON 'BADEN BADEN'	RHODODENDRON; RED	#3 POT; 30CM
(B)	RUBUS PENTALBOUS	CREeping RASPBERRY	#1 POT
(B)	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.0M HT, 8&B; TREE FORM
(B)	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	
GRASS			
(G)	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT, HEAVY
(G)	CAREX OSHIMENSIS 'EVERGOLD'	GOLDEN VARIGATED SEDGE	#1 POT
(G)	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(G)	HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT
(G)	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
(G)	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(G)	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL			
(P)	HEUCHERA MACRANTHA 'CRIMSON CURLS'	FANCY-LEAVED CORAL BELLS; DEEP CRIMSON	15 CM POT
(P)	LIROPE MUSCARI	BLUE LILY-TURF	15CM POT
(P)	SEDUM ALBUM VAR. MICRANTHUM 'CORAL CARPET'	CORAL CARPET STONECROP	9CM POT
GC			
(D)	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#2 POT; 45CM
(D)	EUONYMUS JAPONICA 'EMERALD GAJET'	EUONYMUS; SILVER VARIEGATED	#1 POT; 25CM

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18212-5.2P



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CLIENT: HARZAND DEVELOPERS INC. (BC 1806564)
WITH: KENNETH KM ARCHITECTURE INC.

NO.	DATE	REVISION DESCRIPTION	DR.
6	18 SEP 09	NEW SITE PLAN	DD
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4	28 JUN 07	REVISION AS PER CITY COMMENTS	DD
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2	20 MAR 21	NEW SITE PLAN	DD
1	18 FEB 21	REVISION AS PER CITY REQUEST	DD

PROJECT:

RESIDENTIAL / COMMERCIAL
DEVELOPMENT
5903 - 144TH STREET
SURREY

City file: 18-1235-00

SEAL:

DRAWING TITLE:

LANDSCAPE
ENLARGEMENT

DATE: November 30, 2018 DRAWING NUMBER:

SCALE: 1:100

DRAWN: DD

DESIGN: DD

CHK'D: PCM

DRAWING NUMBER: L3

PMG PROJECT NUMBER: 18-1235-00

OF 6

18-212

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Mar 27, 2019** PROJECT FILE: **7818-0235-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5903 144 St**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.5m on 144 Street for ultimate 15.0m from center-line (Arterial Road allowance).
- Dedicate 3.0 X 3.0m corner cut at 59 Avenue and 144 Street.
- Dedicate as road (without compensation):
 - Bylaw Road (City Bylaw Number 10715) for Parcel 2 South Half of Lot C Section 9 Township 2, as shown on Plan 87473 on a road dedication or subdivision plan.
 - City Owned Road for East 7 feet of Lot C (PID 012-206-167), Section 9 Township 2, on a road dedication or subdivision plan.
- Dedicate 10.0m on 59 Avenue (half road) for ultimate 20.0m Local Road standard.
- Dedicate 3.0 X 3.0m corner cuts at 144 Street and 143 Street.
- Dedicate 10.0m on 143 Street for ultimate 20.0 m road allowance (coordinate with 17-0069 to split 20.0m at 10.0m/10.0m), or secure 1.5m SRW to achieve the 11.5m half road.
- Register 0.5m SRW along all frontage roads.

Works and Services

- Construct 1.8m concrete sidewalk on the west side of 144 Street from City funding (DCW).
- Construct 59 Avenue with ultimate 11.0m pavement width (Commercial standards).
- Construct south half of 59 Avenue from Parks funding (DCW), including driveway letdown for the Tennis Court at 5891-144 Street.
- Construct east side of 143 Street with ultimate 10.5m pavement width.
- Confirm storm drainage system downstream capacity, upgrade if required.
- Construct storm system to service the proposed development and all frontage roads.
- Provide on-site sustainable drainage works to meet the Hyland Creek Integrated Stormwater Management Plan requirements.
- Install water quality/sediment control inlet chamber as part of the on-site drainage system.
- Construct new 200mm diameter water mains along 59 Avenue and 143 Street frontages.
- Provide cash-in-lieu for future upgrading the sanitary sewer on 144 Street to a 250mm sewer main.
- Pay Sanitary Latecomers charge relative to project 5811-0044-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit, except for the requirements listed above.



Tommy Buchmann, P.Eng.
Acting Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file



Planning

November 13, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 18 0235 00

SUMMARY

The proposed 115 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	6
Secondary Students:	6

September 2019 Enrolment/School Capacity

Goldstone Park Elementary	
Enrolment (K/1-7):	77 K + 655
Operating Capacity (K/1-7)	76 K + 442
Sullivan Heights Secondary	
Enrolment (8-12):	1540
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

School Enrolment Projections and Planning Update:

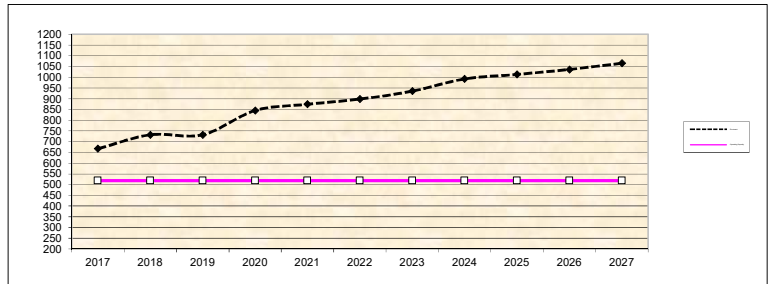
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2019, all three schools are severely overcrowded. To meet in-catchment demand, 3 new portables were added September 2019 to Goldstone Park to deal with enrolment growth.

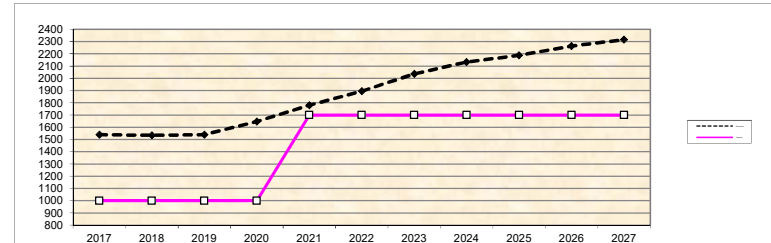
On the 2020/2021 5 year Capital Plan, the District is requesting as Priority 2 and 3 a new site and a new 655 capacity elementary to address the overcrowding in the South Newton area. The Ministry of Education has not approved these projects.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700 capacity addition at Sullivan Heights. The addition is currently in construction and is targeted to open September 2021. This is one of 3 projects that are planned to address the overcrowding at the secondary level in the Newton area. The two other projects are on the 2020/2021 Five Year Capital Plan waiting for approval from the Ministry are an addition to Frank Hurt Secondary and building a new 1200 capacity secondary school in the area.

Goldstone Park Elementary



Sullivan Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

File No.: 7918-0235-00
Address: 5903 144 Street in South Newton
New or Resubmit: New
Last Submission Date: N/A
Description: Rezoning and detailed DP - to permit 3 mixed-use buildings containing approximately 115 residential dwelling units and 1,417 square metres of ground floor commercial
Developer: Muiz Anandji & Sullivan Plaza Ltd.
Architect: Kenneth Kim, Architect AIBC, Kenneth Kim Architecture
Landscape Architect: Pat Campbell, BCSLA, PMG Landscape Architects
Planner: Harpreet Sondh
Urban Design Planner: Nathan Chow

The City Architect advised that staff have no specific issues, except a preference to have green space rather than surface parking between buildings B and C.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by A. Callison
Seconded by B. Howard
That the Advisory Design Panel (ADP) is in
CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

Key Points:

- Consider incorporating more articulation into the buildings, particularly at the roof and more relief to the façade. *The roof has been slightly revised with more articulation (See elevations and perspectives).*
- Consider larger mail/parcel room. *The mailbox areas were enlarged to provide each unit with a 1'w x 2'h x 2'd parcel compartment as per Canada post standards.*
- Consider viability of CRU in Building B. *Yes, they are viable. In addition the walkway was widened for smoother access. Refer to the precedents below.*



Left: Carmel, California, a successful tourist town with many Secret Courtyards & Passageways that contain access to stores.

Right: A commercial alley with similar style of storefront, sidewalk and furniture.

- Review climbability of horizontal guards. They are non-climbable due to glass lining on the inside face of guardrail.
- Consider more urban paving along the street adjacent to daycare. Addressed (see site plan).
- Consider more generous width for north/south walkways between buildings and at ramps. Addressed, they all have adequate width (see site plan).
- Consider placing accessible parking stalls adjacent to elevators. Addressed, all accessible parking stalls are adjacent to elevator lobbies as per latest parking by-law (see P1 plan).
- Consider accessible requirements for site furnishings. Addressed by Landscape architect

Site

- Consider viability of the CRU located on 59 Avenue as it likely will not be a busy street. Same as previous comments
- Suggest a generously sized mail room to accommodate large parcel deliveries. Same as previous comments
- Suggest more access through the surface parking lot. It is given by city engineer.
- Consider incorporating stair access into the ramp north of the outdoor amenity space. Addressed (see site plan).
- Suggest implementing a door between the elevator and Unit 101 in Building A, similar to other units. There was a door there as per BCBC Code. Addressed (see site plan).
- Consider re-evaluating the number of stairs that connect the parkade to the rest of the building. The number of stairs was designed accurately based on the determined elevation of each floors (see p1 plan).
- Review location of PMT with regard to BC Hydro requirements. The location of PMT has been confirmed with BC hydro.

Form and Character

- Consider introducing character articulation or design elements along roof line at building corners. Addressed, the roof line and corners have been revised (see elevation and perspectives).
- Consider providing relief to the building façade. Addressed, façade have relief based on precise consideration of cladding depth (see perspectives).
- Consider the material and color of the fascia above patios in order to reinforce the building volume. Addressed, the material was revised to reinforce the volume (see elevations and perspectives).
- Ensure guardrails are not climbable. Same as previous comments
- Support the generous use of brick and suggest limiting the amount of hardi-panel. Addressed, Hardi-panels are used strategically, and Hardi 2.0 are high quality (see elevations).
-

Landscape

- **Consider a hard surface connection from boulevard to the CRUs and daycare space for easier drop-off and pick-up. Same as previous comments**
- Suggest making the ramp between Building A and Building B feel more open. Addressed (See site plan).
- Consider the amount of greenspace located behind the amenity space to help with a sense of privacy. Addressed with the considerable amount of landscaping and height difference (see site plan and perspectives)

CPTED

- No specific issues were identified.

Sustainability

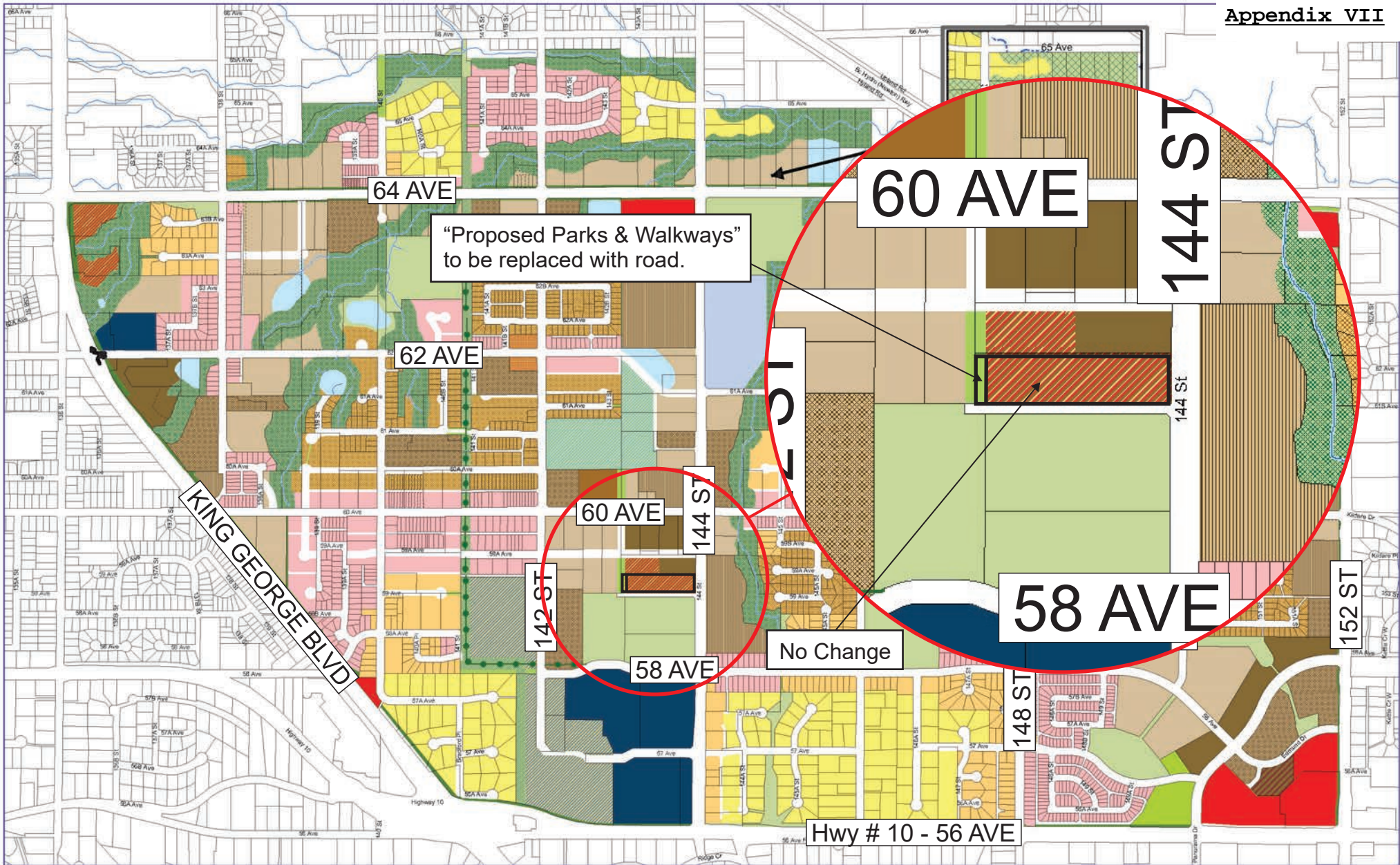
- Consider applying the BC Energy Step Code. Not applicable since the DP was before April 1, 2019.

Accessibility

- Recommend that CRU washrooms are accessible. Addressed, CRU washrooms are accessible (see site plan).
- Provide one Accessible parking stall in the surface parking lot. Addressed (see site plan).
- Ensure Accessible parking stalls located in the underground parkade are adjacent to the elevators. Same as previous comments
- Suggest Accessible site furnishings. Same as previous comments
- Provide a more generous ramp from the pedestrian mews. Addressed (see site plan).

3. 5:30 p.m.

File No.: 7918-0403-00



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN

City of Surrey Planning & Development Department

- Apartments 45 upa max
- Apartments 45 upa max
- Townhouses 30 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max

- Single Family Small Lots
- Row Housing
- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back
- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 010-206-175
South Half Lot C Except: Firstly: The East 7 Feet; and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 1682

5903 144 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings* and *Ground-Oriented Multiple Unit Residential Buildings*.
- 2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross

floor area of each individual business does not exceed 370 square metres [4,000 sq.ft.):

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
- (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
- (c) Office uses excluding *social escort services* and *methadone clinics*;
- (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
- (e) *Indoor recreational facilities*, excluding a gymnasium;
- (f) *Community service*;
- (g) *Eating establishments* excluding *drive-through restaurants*, provided that the maximum *gross floor area* of the business does not exceed 150 square metres (1,615 sq.ft.); and
- (h) *Child care centres*, restricted to a maximum *gross floor area* of 445 square metres (4,790 sq.ft.).

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a floor area ratio of 1.50 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2(a) of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 45%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		4.0 m	4.6 m	3.7 m	4.3 m
<i>Accessory Buildings and Structures</i>		[13 ft.]	[15 ft.]	[12 ft.]	[14 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
4. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, *underground parking* may be located up to 0 metres [0 ft.] from any *lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 14.6 metres [48 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principle building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof* for the commercial use.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
4. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
- 8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 for the residential portion and C-5 Zone for the commercial portion.
- 9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
- 10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
- 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
- 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK